

RECEIVED

HISTORIC PRESERVATION PROPERTY TAX EXEMPTION APPLICATION  
PART I--PRECONSTRUCTION APPLICATION

MAR 04 2014

PLANNING AND DEVELOPMENT  
Historic Preservation

INSTRUCTIONS: Read the attached instructions carefully before completing this application. Your application cannot be evaluated unless it is complete and all required supporting materials are provided. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence. Type or print clearly in black ink. If additional space is needed, attach additional sheets.

A. GENERAL INFORMATION *To be completed by all applicants*

1. Property identification and location:

Property Identification Number (from tax records): 070928 *Attach legal description of property.*

Address of property: 152 East 4<sup>th</sup> Street

City JACKSONVILLE , County: DUVAL Zip Code: 32206

- Individually National Register Listed       Locally designated historic property or landmark\*
- In a National Register District                       In a locally designated district

\* *For applications submitted to the Division of Historical Resources, attach a copy of the local designation report for the property and the official correspondence notifying the property owner of designation.*

Name of historic district: Springfield

*For locally designated historic properties or landmarks, or properties located in locally designated historic districts, provide the following additional information:*

Name of local historic preservation agency/office:

CITY OF JACKSONVILLE, PLANNING AND DEVELOPMENT DEPARTMENT

Mailing Address: 128 EAST FORSYTH STREET

City: JACKSONVILLE State: FLORIDA Zip Code: 32202

Telephone Number: (904) 630-1900

2. Type of request:

- Exemption under §196.1997, F. S. (standard exemption)
- Exemption under §196.1998, F.S. (exemption for properties occupied by non-profit organizations or government agencies and regularly open to the public) *If applying under §196.1998, F.S. complete Question 9 on page five.*

3. Owner Information:

Name of individual or organization owing the property: Hailing Zhong

Mailing Address: PO Box 13314

City: Jacksonville, State: FL Zip Code: 32206

Daytime Telephone Number: (904) 210 1555

Name of additional owner at same mailing address: \_\_\_\_\_

Daytime Telephone Number: (\_\_\_\_) \_\_\_\_\_

*If the property is in multiple ownership, attach a list of all owners with their mailing addresses.*

PROPERTY ADDRESS: 152 East 4<sup>th</sup> Street, Jacksonville, FL, 32206

- 4. **Owner Attestation:** I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Name: Hailing Zhong Signature:  Date: 3/4/2014

*Complete the following if signing for an organization or multiple owners.*

Title: \_\_\_\_\_ Organization: \_\_\_\_\_

**B. EVALUATION OF PROPERTY**

*To be completed only for properties in historic or archaeological districts:*

**4. Description of physical appearance:**

The building is located within the National Historic District of Springfield. This two-story, metal-roofed, unpainted Queen-Ann style building, was constructed around 1902 and the adjacent rectangular single story building was constructed in 1953. It's Queen Ann style tower has alternating bands of various patterned shingles although the spire has been removed.

On the interior of the first floor, the north west room has three windows open to the front porch and one window to the yard on the west side of the house. The fireplace was remodeled to accommodate a gas log but the ornamental mantle and decorative columns are still intact. The west middle room has a half turret attached to its west side with curved windows. The fire place in this room has also been remodeled to accommodate gas log and is missing one of its decorative columns. The west backroom has been partially gutted and connected to the enclosed porch on the southwest corner of the house. The enclosed porch has modern windows. The kitchen on the southeast corner of the house has modern cabinets and a tiled floor. The wood kitchen door to the east side of the house is not historic in age or style. The bathroom on the middle east of the house has modern tiles and appliances. The northeast corner corresponds to the interior of the tower and wood staircases leads to the second floor. Most of the first floor has wood floors.

The second floor interior has similar floor plan of the first floor except the walls of the hallway is angled at the end. The two bathrooms contain no historical feature and contain all modern tile and appliances except a claw foot bath tub. The shower in the bedroom at the southeast corner of second floor has hexagonal windows that cannot be opened. The bathroom on the southwest corner of the second floor opens to the open porch with damaged railing.

Throughout the house there are several stained glass, or stained glass like, windows that can not be opened. The windows are protected from the outside with plexiglass.

Date of Construction: approx. 1902 Date(s) of Alteration(s): misc undated

Has building been moved?  Yes  No If so, when? \_\_\_\_\_

**5. Statement of Significance:**

Originally, numerous Queen Anne style buildings were built in Springfield around the turn of the century. As popular tastes changed after World War I, many of these turrets were removed or the buildings were demolished. Only few of these buildings remain in Springfield today. This building is typical in appearance for these turn of the century Queen Anne style buildings with turrets. The building was used continuously as a residence. The modern additional building next to the main house was used as a barber shop in more recent times.

**6. Photographs and Maps:**

Attach photographs, site plans, floorplans and maps to application.

C. DESCRIPTION OF IMPROVEMENTS

To be completed by all applicants. Include site work, new construction, alterations, etc. Complete the blocks below.

FEATURE 1

Feature: Kitchen door (East side)  
Approximate date of feature: 1990  
  
Describe existing feature and its condition:  
Off the shelf wood door damaged by exposure to elements  
Photograph Number: 4,5,6 Drawing Number: 1,3

Describe work and impact on existing feature:  
The door will be replaced with a special ordered wood door matching in appearance the existing front door

FEATURE 2

Feature: Kitchen  
Approximate date of feature: 1990  
  
Describe existing feature and its condition:  
Off the shelf wooden cabinets, partially completed and damaged. Unpainted  
Photograph Number: 6,7,8 Drawing Number: 1,3

Describe work and impact on existing feature:  
The cabinets will be replaced with new off the shelf cabinets and appliances.

FEATURE 3

Feature: Southwest Room  
Approximate date of feature: unknown  
  
Describe existing feature and its condition:  
The room is gutted and a wall is inadequately supported.  
Photograph Number: 9,10 Drawing Number: 1,3

Describe work and impact on existing feature:  
Drywall, paint and trim with style matching existing rooms.

FEATURE 4

Feature: First floor bathroom  
Approximate date of feature: 1970  
  
Describe existing feature and its condition:  
Functioning hatchroom with ca 1970 style color, tile and off the shelf appliances  
Photograph Number: 11 Drawing Number: 1,3

Describe work and impact on existing feature:  
retile and install modern appliances. The claw foot bath tub from the second floor will be refinished and relocated here

FEATURE 5

Feature: Fire place decorative column in dining room  
Approximate date of feature: unknown  
  
Describe existing feature and its condition:  
the left column is missing  
Photograph Number: 12 Drawing Number: 1,3

Describe work and impact on existing feature:  
copy the column on the right to replace the left hand column.

FEATURE 6

Feature: East side second floor bathroom  
Approximate date of feature: 1970

Describe work and impact on existing feature:  
remodel bathroom per

Describe existing feature and its condition:  
Functional bathroom with ca 1970s paneling, tile and off the shelf appliances and period clawfoot bath tub.  
Photograph Number: 13,14 Drawing Number: 1,3

claw foot bathtub will be refurbished and moved to the first floor bathroom.

FEATURE 7

Feature: Second floor shower  
Approximate date of feature: 1970  
  
Describe existing feature and its condition:  
non functioning shower room with tiled floor and wall appears to have been a failed attempt to convert a closet into shower  
Photograph Number: 15 Drawing Number: 2,4

Describe work and impact on existing feature:  
revert to the original closet. Remove tile and plumbln. Fit interior with drywall. Retain octogonl windows.

FEATURE 8

Feature: upstairs hallway  
Approximate date of feature: unknown  
  
Describe existing feature and its condition:  
The walls are angled, probably to provide room for a closet in the south west corner after the original closet was converted to a shower.  
Photograph Number: 16 Drawing Number: 2,4

Describe work and impact on existing feature:  
Remove the closet at the east side of the wall per attached drawing.

FEATURE 9

Feature: master bath  
Approximate date of feature: 1970  
  
Describe existing feature and its condition:  
Non functioning bathroom appears to be added ca 1970 based on style and color.  
Photograph Number: 17 Drawing Number: 2,4

Describe work and impact on existing feature:  
demolish bathroom. Create laundry room per drawing. Window and doors will not be altered

FEATURE 10

Feature: closets between north and middle room on the west side of second floor  
Approximate date of feature: unknown.  
  
Describe existing feature and its condition:  
functioning closets. based on door style and sizes used in some of the closet added later.  
Photograph Number: 20,19 Drawing Number: 2,4

Describe work and impact on existing feature:  
remove closets, open door per drawing. Reuse existing door if possible.

FEATURE 11

Feature: 2<sup>nd</sup> Floor south west bedroom  
Approximate date of feature: unknown  
  
Describe existing feature and its condition:  
This bedroom was likely created in an earlier remodel. It has its own heat source (a wall mounted gas heater) which was

Describe work and impact on existing feature:  
remodel into bathroom per drawing. Remove gas heater. Add connecting door to middle room

popular around 1970.  
Photograph Number: 21,22,23,24 Drawing Number: 2,4

**FEATURE 12**

Feature: All Windows  
Approximate date of feature: various  
  
Describe existing feature and its condition:  
windows from various periods around the house. The condition of the windows varies but most suffer from broken pulleys, flaking paint, broken panes, rusted and missing hardware, wood rot and termite damage  
Photograph Number: 25-52 Drawing Number: 1,2,3,4

Describe work and impact on existing feature:  
restore all windows, replace wood-as-needed. Make windows functional if possible. Paint windows and replace or repair hardware.

**FEATURE 13**

Feature: Backdoor / Frontdoor  
Approximate date of feature: unknown  
  
Describe existing feature and its condition:  
Doors from various periods with wood rot and termite damage. Hardware is partially missing, broken or doesn't fit. Locks don't close properly. Peeled paint  
Photograph Number: 54 Drawing Number: 1,3

Describe work and impact on existing feature:  
The doors will be restored and wood rot will be repaired. Hardware will be adjusted or replaced as needed. Doors will be painted.

**FEATURE 14**

Feature: Exterior wood and Paint  
Approximate date of feature: N/A  
  
Describe existing feature and its condition:  
The outside of the building suffers from wood rot, termite damage and is not painted.  
Photograph Number: 28,38 ... Drawing Number:

Describe work and impact on existing feature:  
missing wood will be replaced with identical dimensioned wood. Building will be painted.

**FEATURE 15**

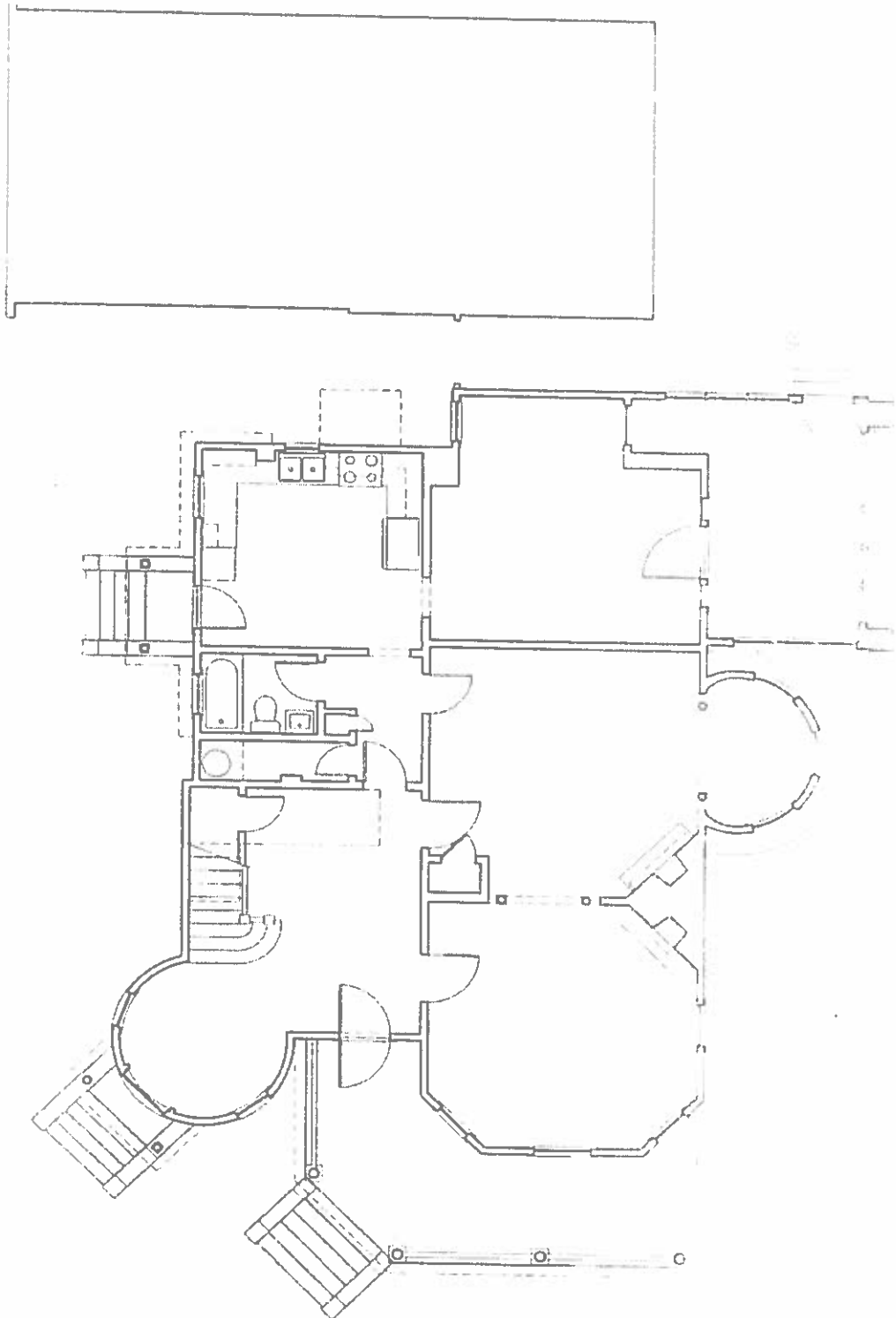
Feature: upstairs tower  
Approximate date of feature: unknown  
  
Describe existing feature and its condition:  
The room above the tower and the master bedroom were combined at some point and are now separated by an opening with modern (ca. 1990) columns.  
Photograph Number: 18 Drawing Number: 1,3

Describe work and impact on existing feature:  
The two rooms will be separated by a wall to reflect the floorplan still visible downstairs.

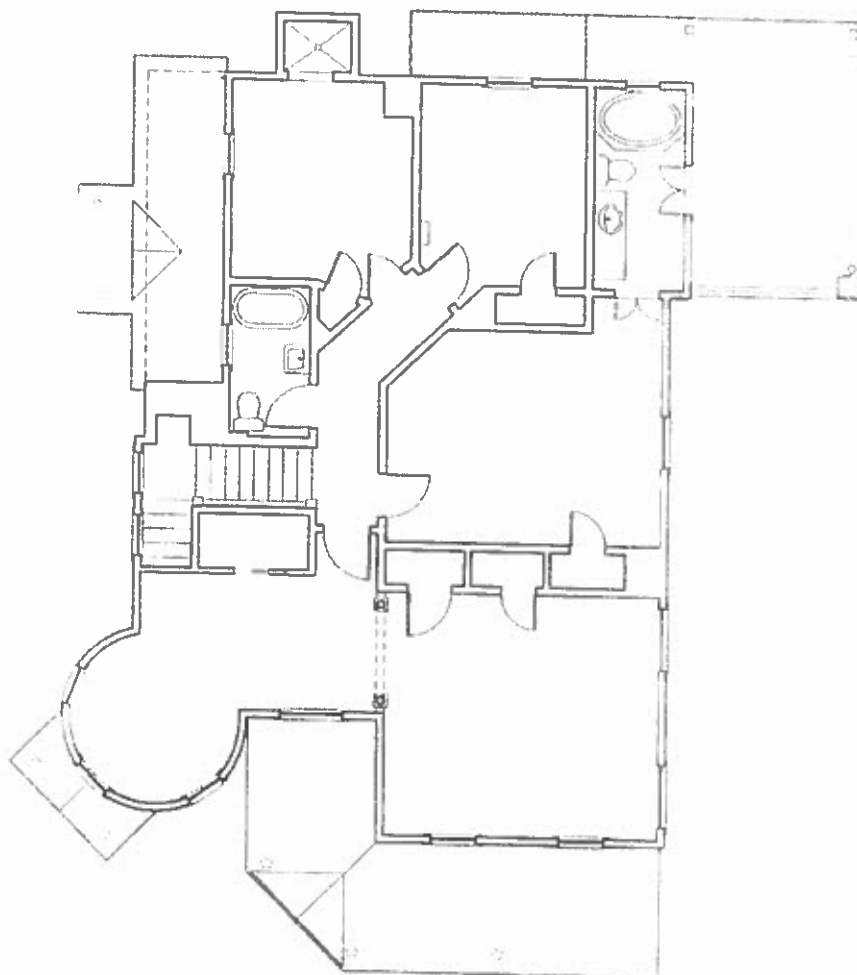
**FEATURE 16**

Feature:  
Approximate date of feature:  
  
Describe existing feature and its condition:  
  
Photograph Number: Drawing Number:

Describe work and impact on existing feature:

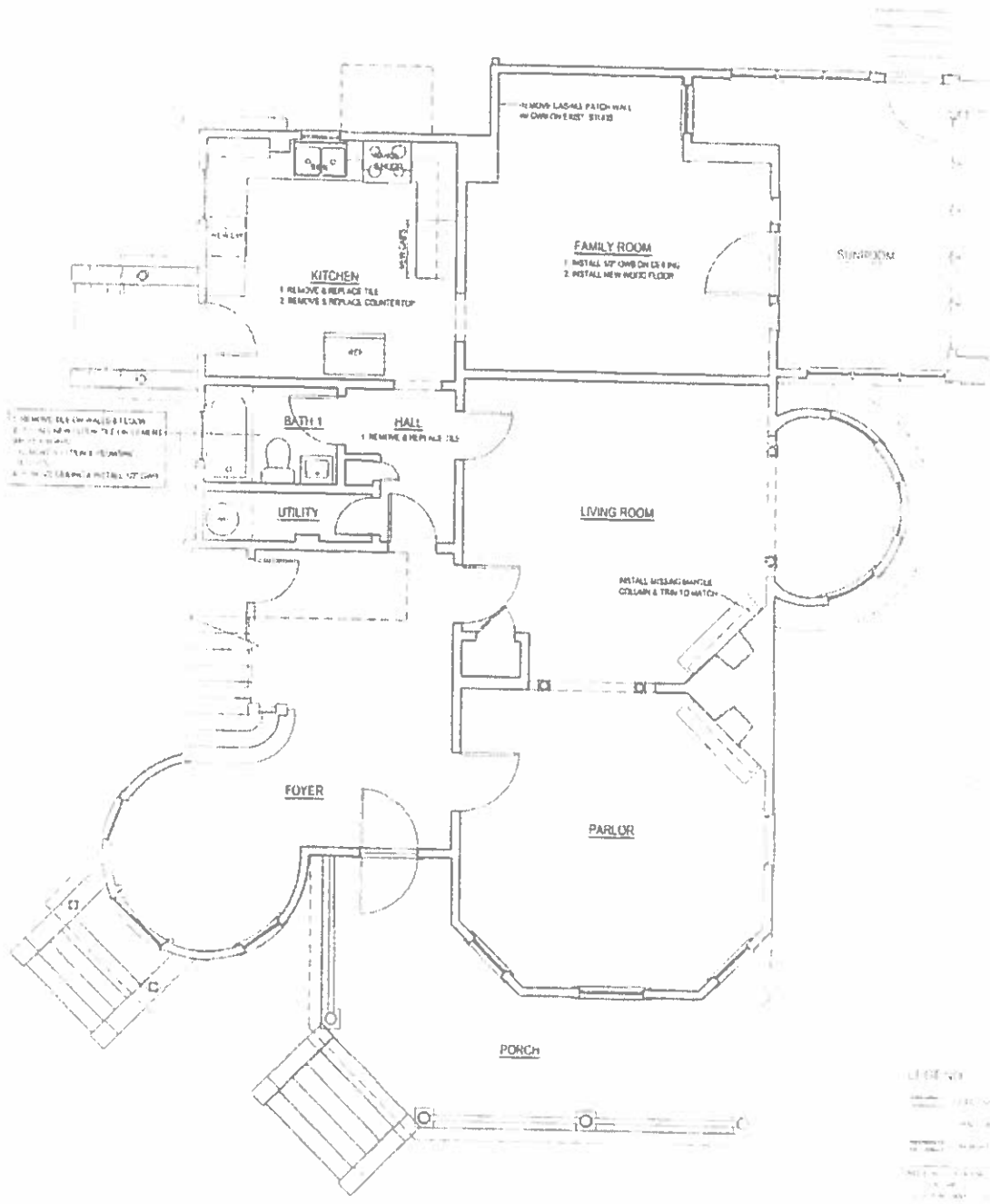


Drawing 1: Current State of First Floor



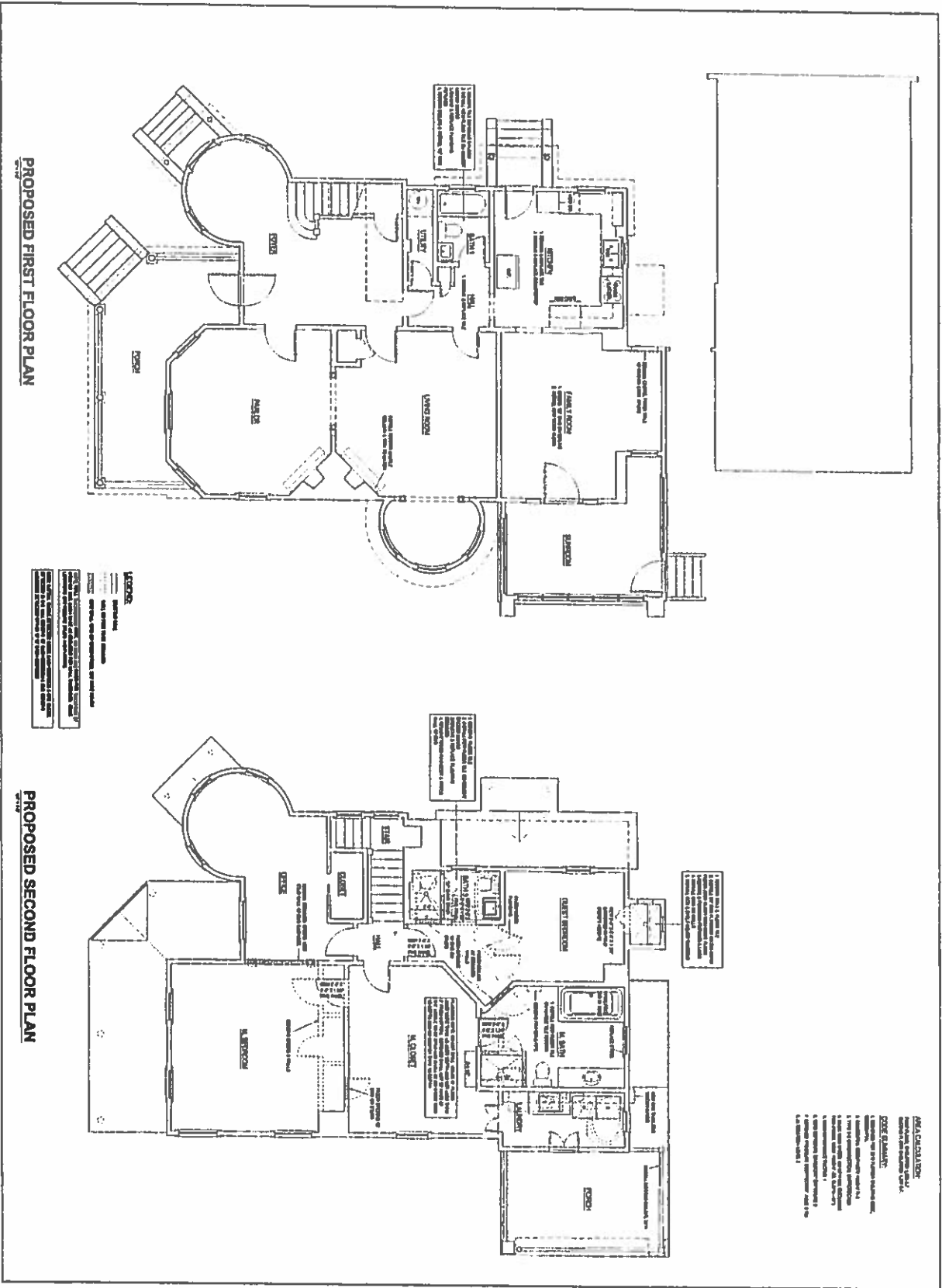
Drawing 2: Current state of 2<sup>nd</sup> floor





Drawing 3: Modified 1st Floor





PROPOSED FIRST FLOOR PLAN

PROPOSED SECOND FLOOR PLAN

- LEGEND:**
- Proposed
  - Existing
  - To Be Demolished
  - To Be Retained
  - To Be Added
  - To Be Relocated
  - To Be Modified
  - To Be Deleted
  - To Be Replaced
  - To Be Repaired
  - To Be Restored
  - To Be Preserved
  - To Be Protected
  - To Be Reinforced
  - To Be Sealed
  - To Be Insulated
  - To Be Waterproofed
  - To Be Fireproofed
  - To Be Soundproofed
  - To Be Lightproofed
  - To Be Heatproofed
  - To Be Windproofed
  - To Be Dustproofed
  - To Be Pollutionproofed
  - To Be Noiseproofed
  - To Be Vibrationproofed
  - To Be Earthquakeproofed
  - To Be Blastproofed
  - To Be Radiationproofed
  - To Be Chemicalproofed
  - To Be Biologicalproofed
  - To Be Nuclearproofed
  - To Be Cosmicproofed
  - To Be Gravitationalproofed
  - To Be Electromagneticproofed
  - To Be Acousticproofed
  - To Be Thermalproofed
  - To Be Mechanicalproofed
  - To Be Electricalproofed
  - To Be Magneticproofed
  - To Be Opticalproofed
  - To Be Atomicproofed
  - To Be Molecularproofed
  - To Be Cellularproofed
  - To Be Tissueproofed
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- NOTES:**
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
  2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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  18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_  
 NO. TITLE \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROJECT (DRAWING FILE): \_\_\_\_\_  
 PROJECT NAME: \_\_\_\_\_  
 ALTERNATIONS TO RESUBMIT: \_\_\_\_\_  
**HIALING ZHONG**  
**JOHANNES ULRICH**  
 151 E. 6TH ST.  
 JACKSONVILLE, FLORIDA  
 SHEET TITLE:  
 PROPOSED FLOOR PLANS  
 SHEET NUMBER:  
**A1**



Picture 1: Property featured on Page 183 of "Jacksonville's Architectural Heritage", published by University Press of Florida.



Picture 2: View of 152 East 4<sup>th</sup> Street from corner of Market and 4<sup>th</sup> Street (December 2013)



Picture 3: View of east side of 152 East 4<sup>th</sup> Street (December 2013)



Picture 4: West side of 152 East 4<sup>th</sup> Street (December 2013)



Picture 5: Kitchen Door (east side, December 2013)



Picture 6: Inside Kitchen facing east. Door to outside is visible at the left side.



Picture 7: Inside Kitchen facing south.



Picture 8: kitchen facing west

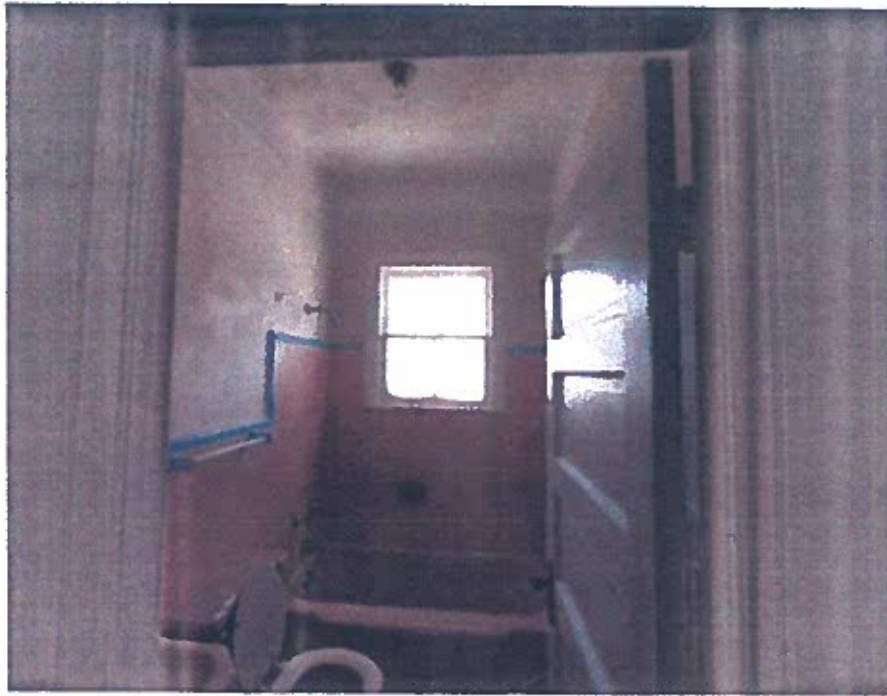


Picture 9: South-West room facing south



Picture 10: South-West room ceiling





Picture 11: First floor bathroom



Photo 12: Fireplace West Middle Room

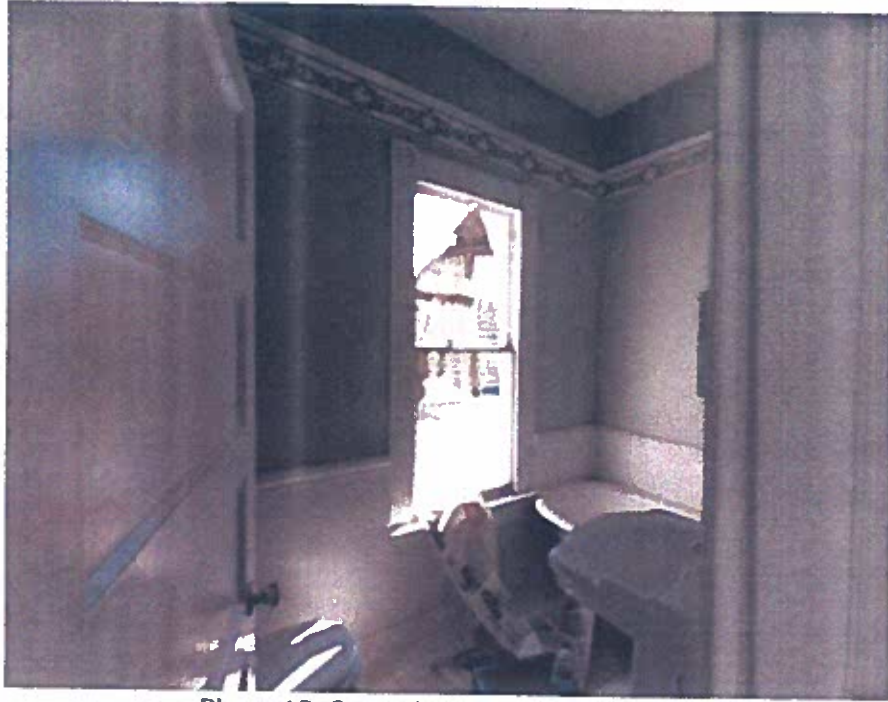


Photo 13: Second Floor East Bathroom



Photo 14: Second Floor East Bathroom facing north



Photo 15: Shower attached to 2<sup>nd</sup> Floor South-East Bedroom



Picture 16: Upstairs hallway facing the angled wall connecting the east bathroom and the south east bedroom.

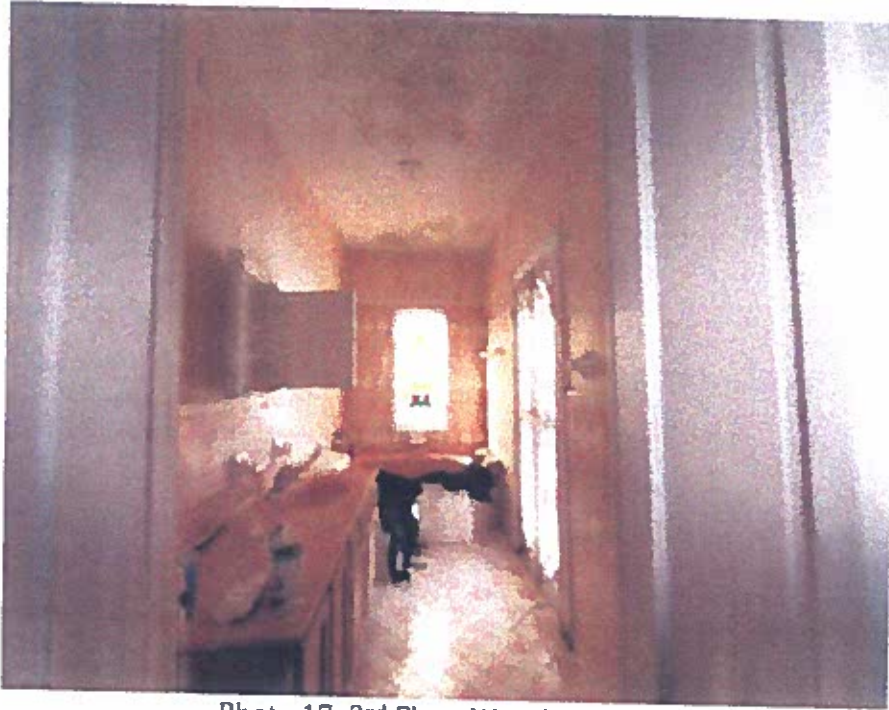


Photo 17: 2<sup>nd</sup> Floor West bathroom



Photo 18: Opening connecting the two 2<sup>nd</sup> floor rooms at the north side of the house.



Photo 19: Closets at the southern wall of the 2<sup>nd</sup> floor north-west room.

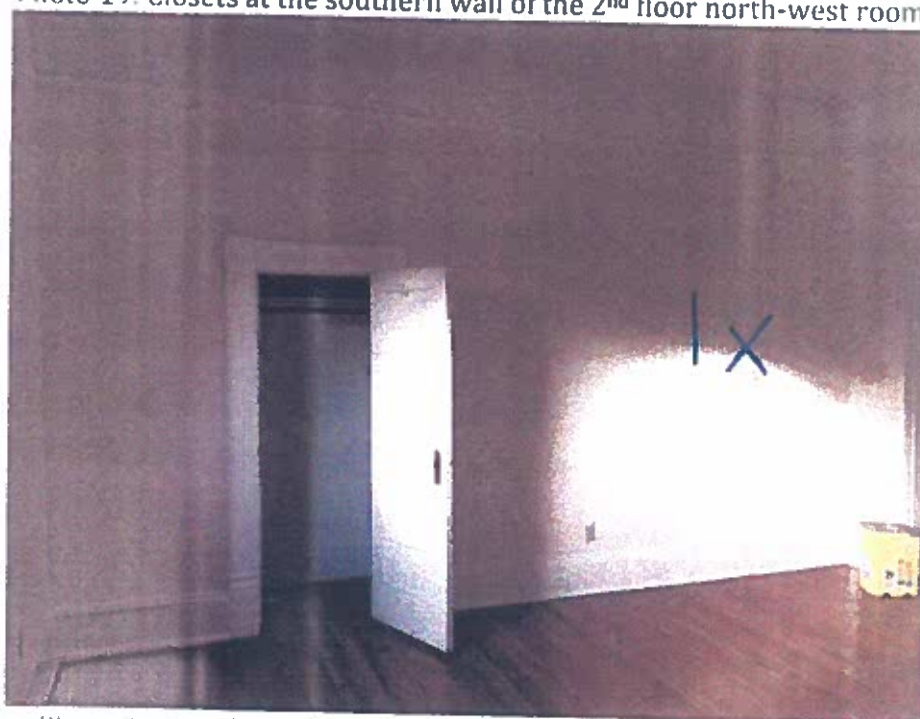


Photo 20: 2<sup>nd</sup> Floor middle west room. Wall leading to north room.



Photo 21: 2<sup>nd</sup> Floor South-west bedroom from outside hallway facing south-west

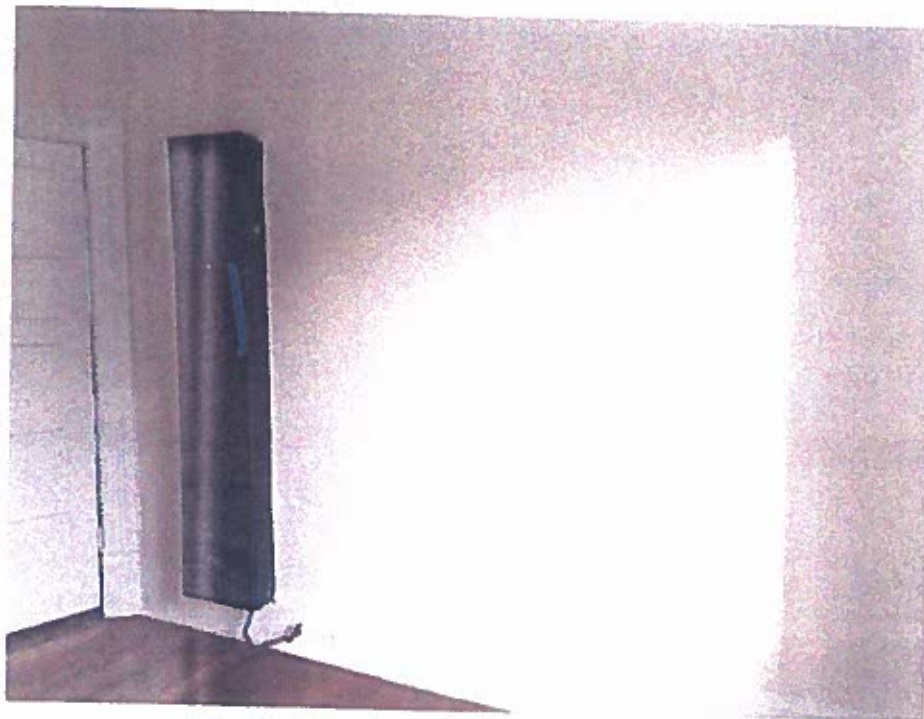


Photo 22: 2<sup>nd</sup> Floor South West bedroom. Facing east.



Photo 23: 2<sup>nd</sup> Floor South West bedroom facing south



Photo 24: 2<sup>nd</sup> Floor South West Bedroom facing west.



Photo 25: painted shut window west of entrance (1<sup>st</sup> floor)



Photo 26: 1<sup>st</sup> Floor porch center window. Window faces north.





Photo 27: 1<sup>st</sup> floor window at western end of porch. Window is painted shut and may not be operable.



Photo 28: 1<sup>st</sup> Floor window facing west. Window may not be operable. Missing panes.



Photo 29: Curved window on turret attached to west side of house. Window faces north-west. Window is not designed to open.



Photo 30: Curved window on west-side turret facing west. Window is painted shut not designed to open.



Photo 31: Curved Window on west-side turret facing south. Window is not paint shut / not designed to operate.

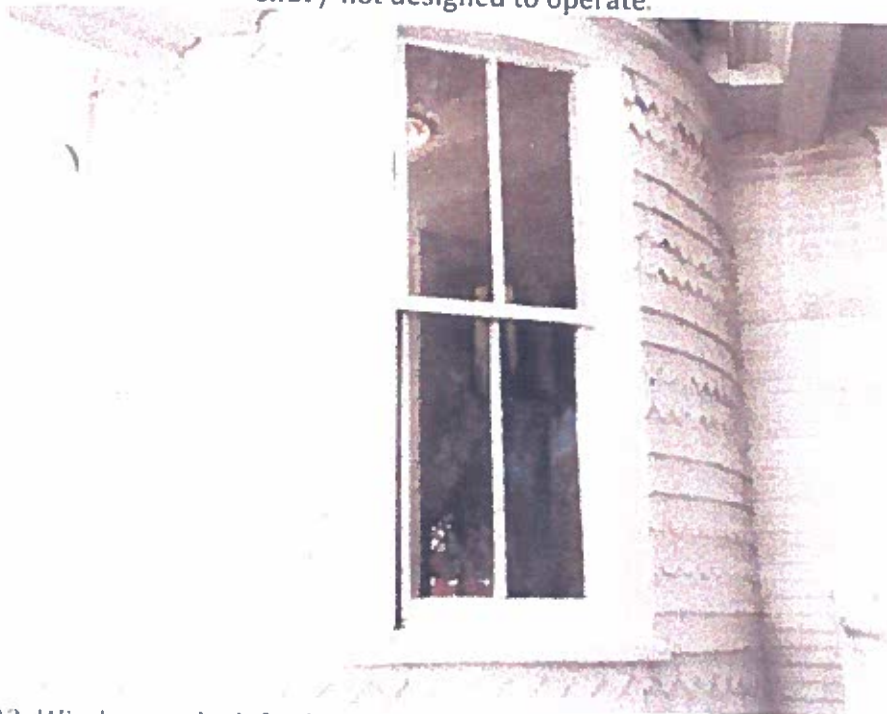


Photo 32: Window to the left of entrance door, facing approx.. north. Window panes appear modern. Paint shut.



Photo 33: Stained glass window at Northeast corner of first floor. The window is protected by Plexiglas and not designed to be opened.



Photo 34: 1<sup>st</sup> floor window facing east. This window is part of the turret at the north-east corner.



Photo 35: Stained glass windows at the east side of the house. These windows are placed at the landing of the stair case between first and second floor. The windows do not open.



Photo 36: Bathroom window to the right of the kitchen door. The window has been replaced, but some original trim remains.

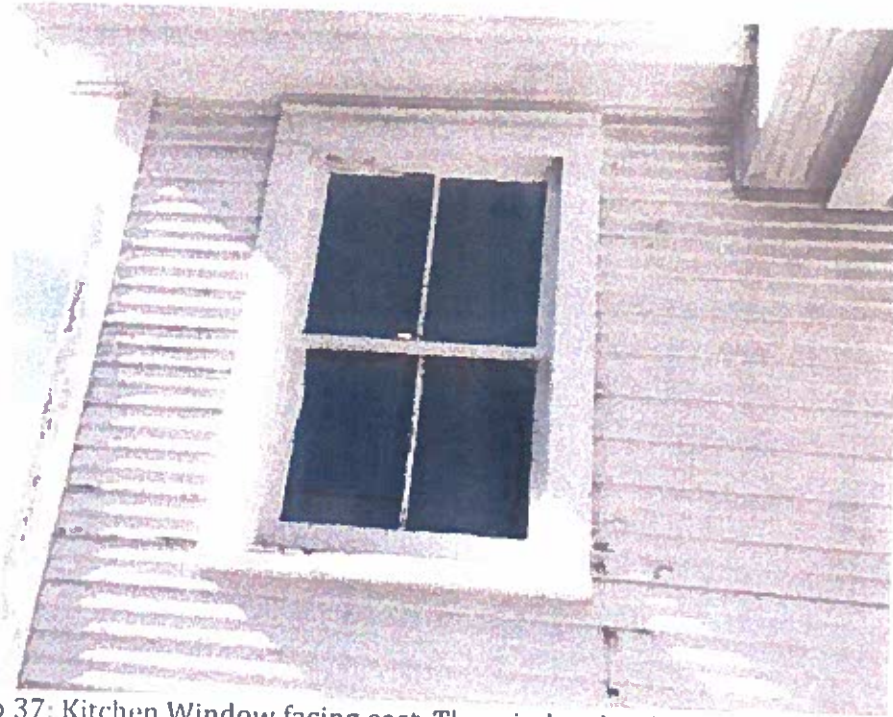


Photo 37: Kitchen Window facing east. The window has been replaced but some original trim remains.

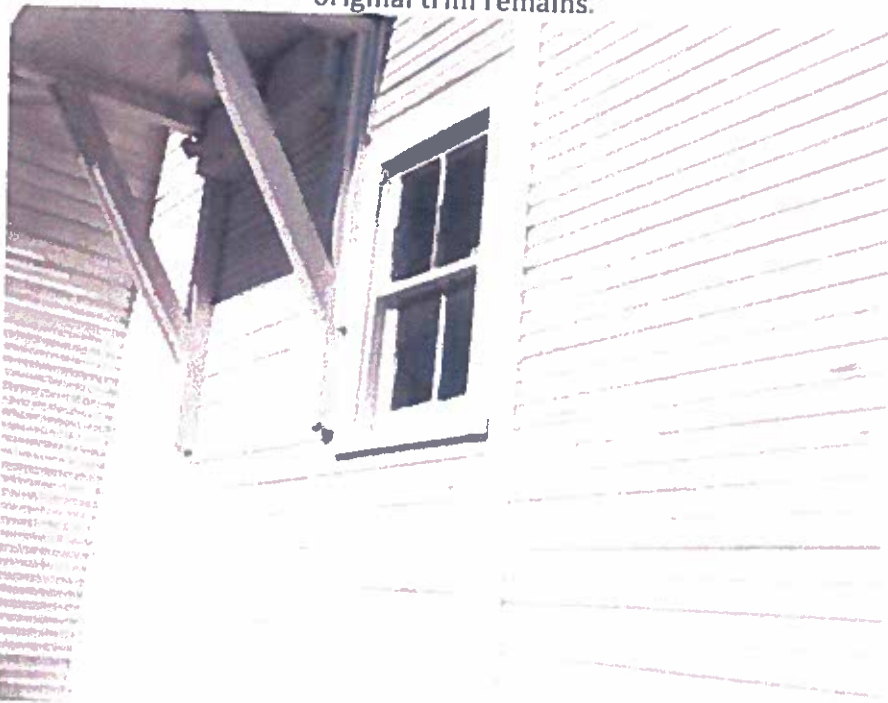


Photo 38: 1<sup>st</sup> floor kitchen window facing south. The window has been replaced but some original trim remains.



Photo 39: 2<sup>nd</sup> floor southwest bedroom window facing south. The window has been paint shut and may or may not operate.

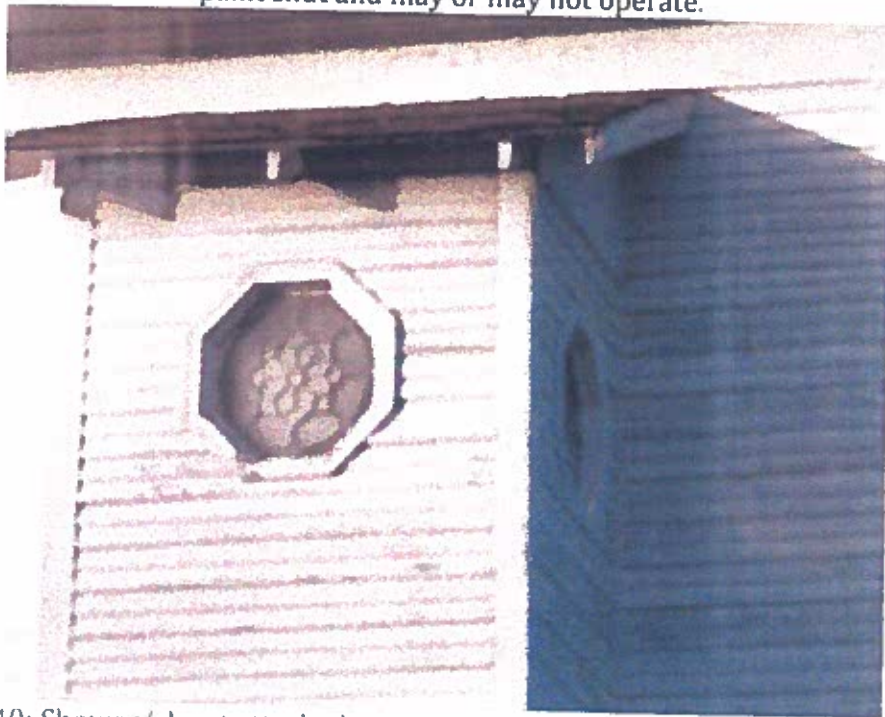


Photo 40: Shower/closet attached to south side of 2<sup>nd</sup> floor. The windows are fixed and can not be opened.



Photo 41: Shower/closet attached the south side of 2<sup>nd</sup> floor. View from the east.  
The window is fixed and can not be opened.

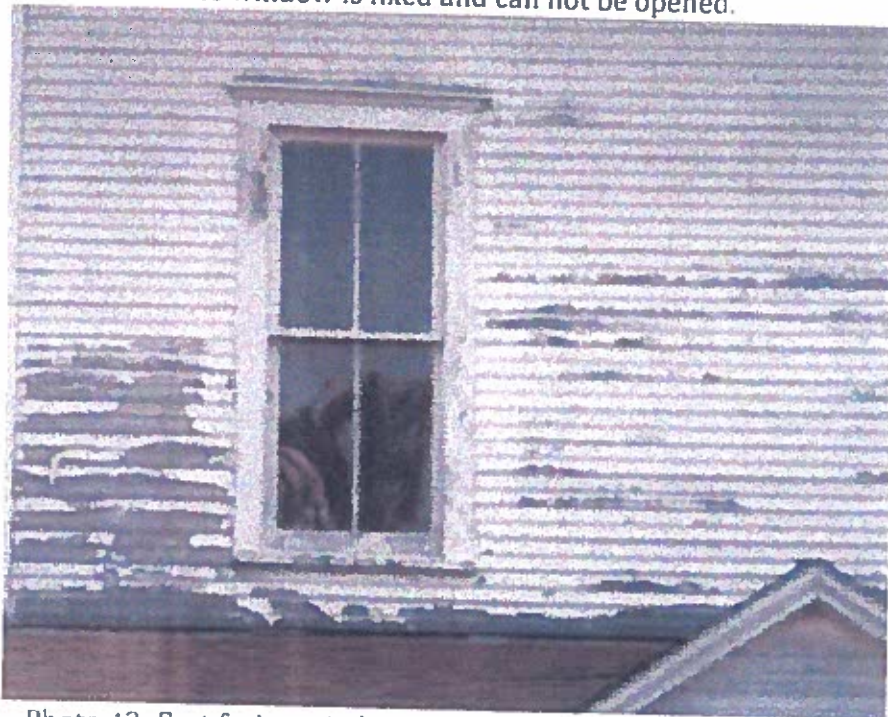


Photo 42: East facing window to the 2<sup>nd</sup> floor southeast bedroom.





Photo 43: Window to the 2<sup>nd</sup> floor east bathroom. Glass broken, window currently not operable.

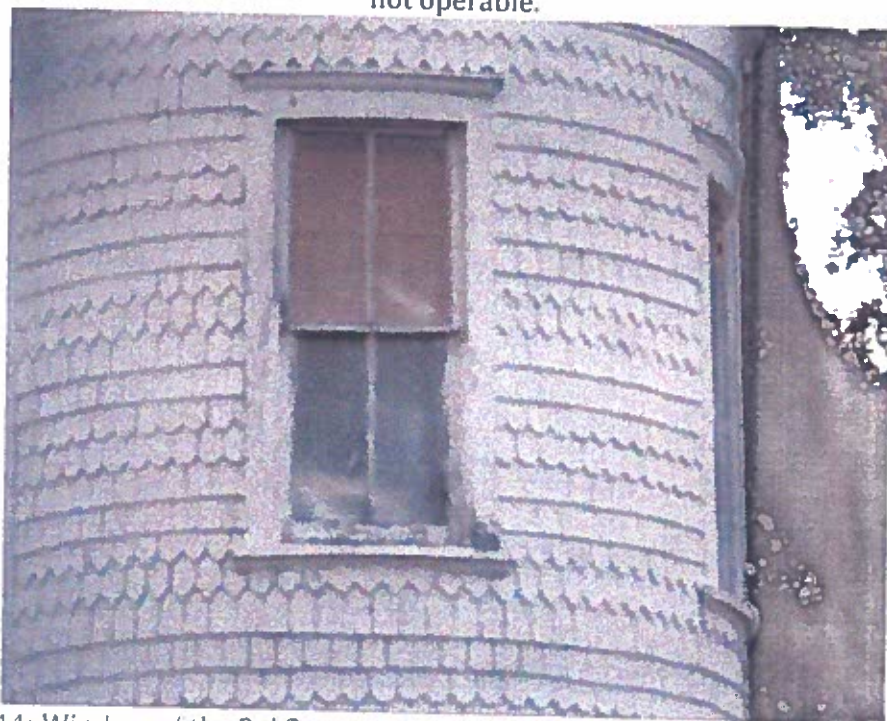


Photo 44: Window of the 2<sup>nd</sup> floor turret facing east. Panes are broken and window is paint shut. May not operate.

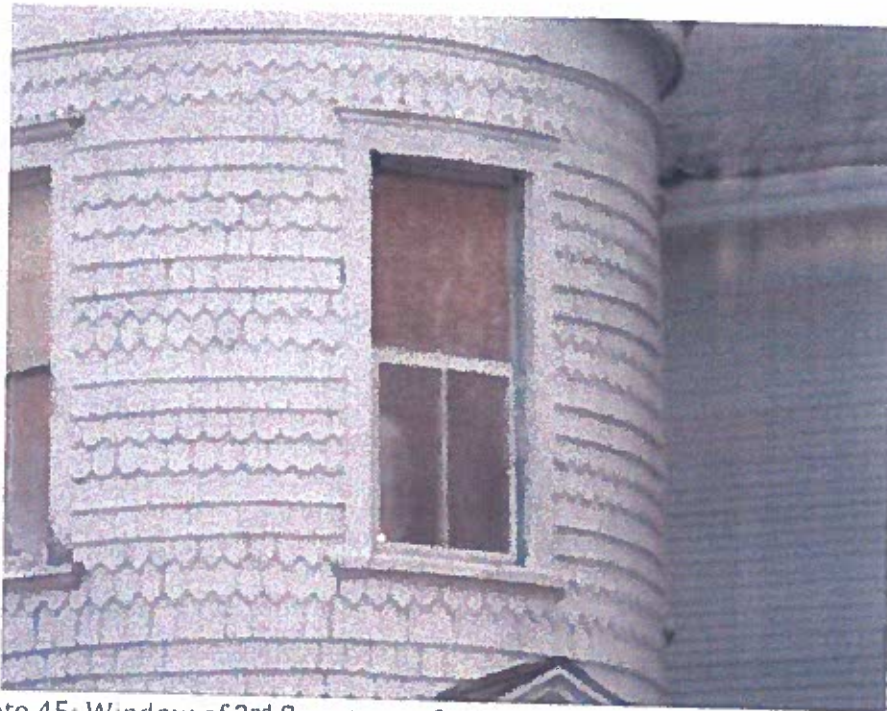


Photo 45: Window of 2<sup>nd</sup> floor turret facing northeast. Panes are broken and window is pain shut. May not operate.

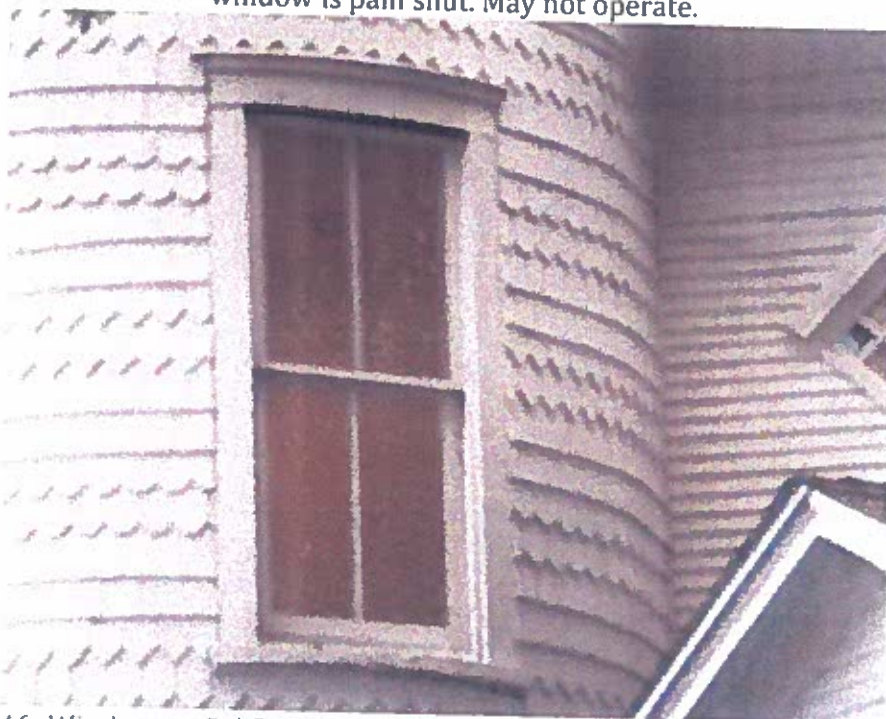


Photo 46: Window on 2<sup>nd</sup> floor of turret facing northwest. Window pane is broken and window is paint shut. It may not operate.



Photo 47: 2<sup>nd</sup> floor diamond shape window facing north right next to the turret above main entrance. The window is not designed to operate.



Photo 48: 2<sup>nd</sup> floor northwest room facing south. This window is partially operational but some hardware is missing. (to the left of the window shown in Photo 49).



Photo 49: 2<sup>nd</sup> floor window to the northwest room facing north (to the right of the window shown in Photo 48). The window is partially operational but missing hardware.

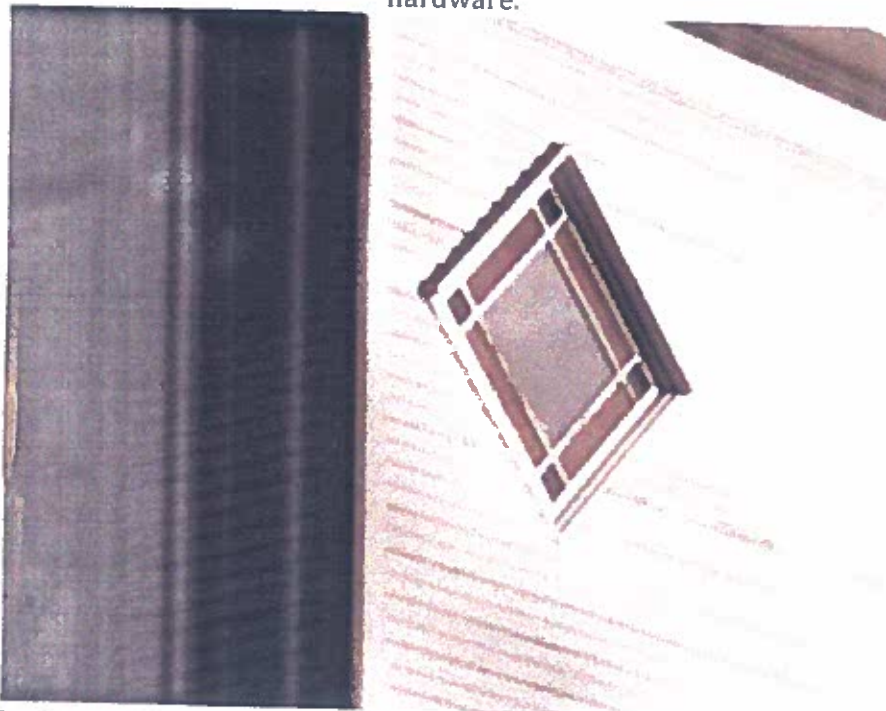


Photo 50: 2<sup>nd</sup> floor diamond shape window to the northwest room. This floor is not designed to be opened.



Photo 51: 2<sup>nd</sup> floor diamond shape window to the north west room facing west. The window is not designed to be opened.

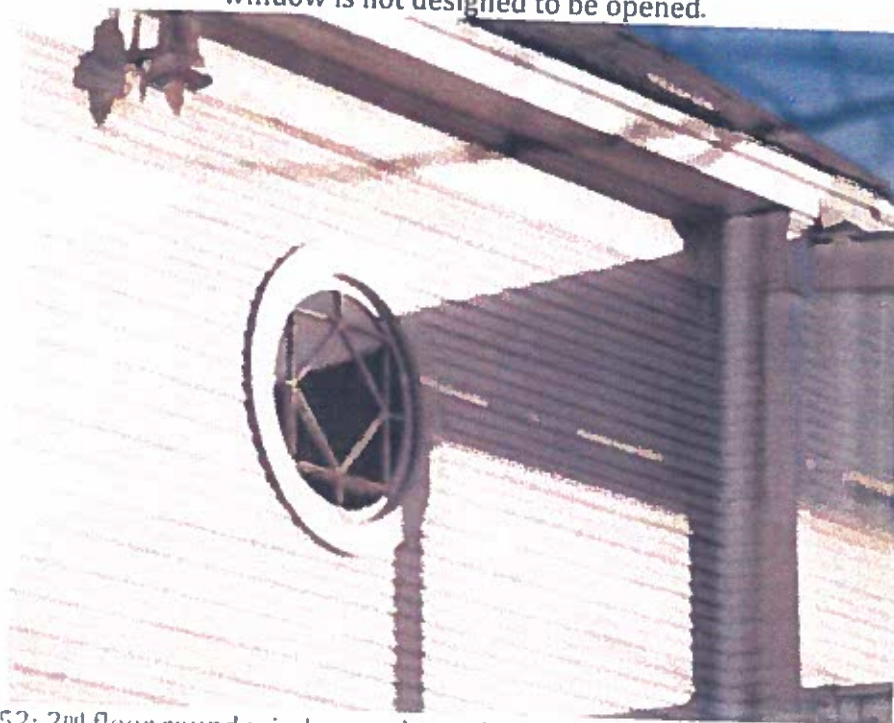


Photo 52: 2<sup>nd</sup> floor round window to the middle room. This window is not designed to be opened.

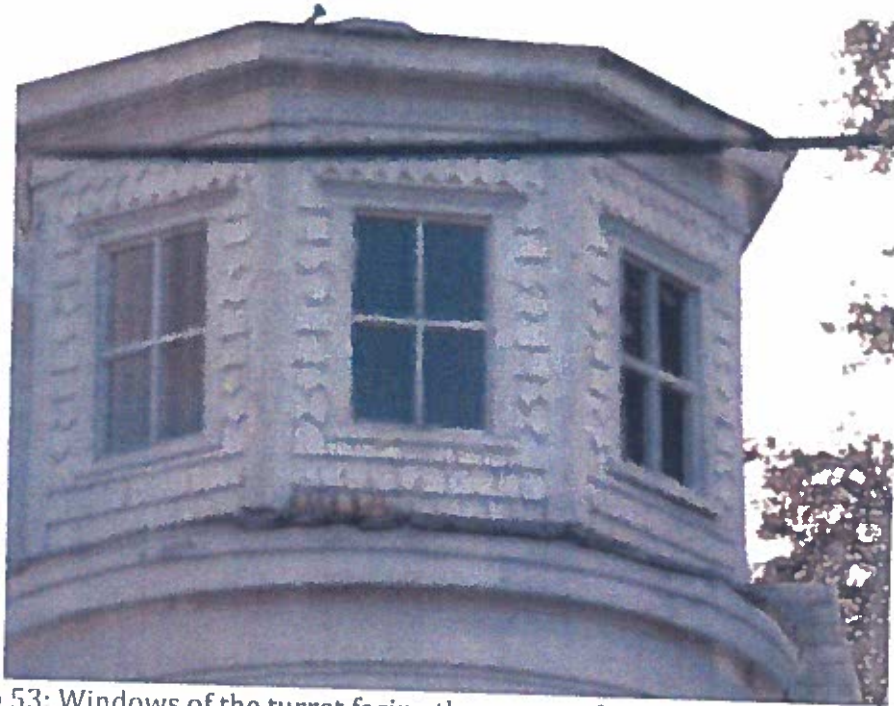


Photo 53: Windows of the turret facing the corner of Market Street and 4<sup>th</sup> Street (northeast corner of house). These window open to the attic and are not operational.



Photo 54: Backdoor at the south side of the house. The door is currently a functional off the shelf door.

ZHONG HAILING +  
PO BOX 13314  
JACKSONVILLE, FL 32206

Primary Site Address  
152 E 4TH ST  
Jacksonville FL 32206

Official Record Book/Page  
16575-02034

Title #  
6412

152 E 4TH ST  
Property Detail

RE #	070928-0000
Tax District	USD1
Property Use	0810 RESIDENTIAL UNITS 2-9
# of Buildings	2
Legal Desc.	2-4 37-25-26E .215 SPRINGFIELD
Subdivision	01188 SRINGFELD S/D BLK 3,5,9 ,
Total Area	9296
Characteristics	Historic Designation

Value Summary

Value Method	2013 Certified	2014 In Progress
	CAMA	CAMA
Total Building Value	\$110,962.00	\$120,097.00
Extra Feature Value	\$1,131.00	\$1,131.00
Land Value (Market)	\$18,225.00	\$18,225.00
Land Value (Agric.)	\$0.00	\$0.00
Just (Market) Value	\$130,318.00	\$139,453.00
Assessed Value	\$130,318.00	\$139,453.00
Cap Diff/Portability Amt	\$0.00 / \$0.00	\$0.00 / \$0.00
Exemptions	\$0.00	See below
Taxable Value	\$130,318.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). Property values, exemptions and other information listed as 'In Progress' are subject to change. These numbers are part of the 2014 working tax roll and will not be certified until October. [Learn how the Property Appraiser's Office values property.](#)

Taxable Values and Exemptions – In Progress +

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value	SJRWMD/FIND Taxable Value	School Taxable Value
No applicable exemptions	No applicable exemptions	No applicable exemptions

Sales History +

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
16575-02034	10/25/2013	\$100,000.00	SW - Special Warranty	Unqualified	Improved
16575-02032	6/26/2013	\$100.00	WD - Warranty Deed	Unqualified	Improved
16159-00454	11/26/2012	\$67,800.00	CT - Certificate of Title	Unqualified	Improved
15013-01070	11/25/2003	\$100.00	WD - Warranty Deed	Unqualified	Improved
11551-00390	11/25/2003	\$239,000.00	WD - Warranty Deed	Unqualified	Improved
11462-00156	10/9/2003	\$100.00	QC - Quit Claim	Unqualified	Improved
10640-00198	5/1/2002	\$100.00	WD - Warranty Deed	Unqualified	Improved
10307-01378	1/2/2002	\$200,000.00	WD - Warranty Deed	Unqualified	Improved
08966-02333	6/3/1998	\$100.00	MS - Miscellaneous	Unqualified	Improved
07769-00612	1/31/1994	\$127,000.00	WD - Warranty Deed	Qualified	Improved
06342-01069	6/2/1987	\$33,500.00	WD - Warranty Deed	Unqualified	Improved
05896-02204	12/27/1984	\$100.00	QC - Quit Claim	Unqualified	Improved
04637-00081	5/11/1978	\$100.00	MS - Miscellaneous	Unqualified	Improved

Extra Features +

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FPMR7	Fireplace Masonry	1	0	0	2.00	\$1,131.00

Land & Legal +

Land

LN	Code	Use Description	Zoning	Front	Depth	Category	Land Units	Land Type	Land Value
1	0101	RES MD 8-19 UNITS PER AC	RMD-S	90.00	104.50	Common	90.00	Front Footage	\$18,225.00

Legal

LN	Legal Description
1	2-4 37-25-26E .215
2	SPRINGFIELD
3	E 90FT OF N 1/2 LOT 2
4	BLK 13

Buildings +

Building 1

Building 1 Site Address  
152 E 4TH ST

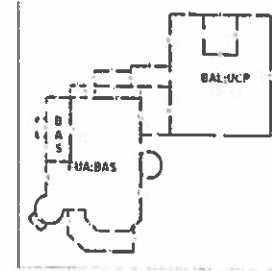
Element	Code	Detail

Jacksonville FL 32206

<b>Building Type</b>	0102 - SFR 2 STORY
<b>Year Built</b>	1909
<b>Building Value</b>	\$99,637.00

Type	Gross Area	Heated Area	Effective Area
Balcony	143	0	21
Unfinished Storage	143	0	57
Balcony	1177	0	177
Unfinished Carport	1177	0	235
Unfin Open Porch	160	0	32
Addition	160	160	144
Finished upper story 1	1144	1144	1087
Base Area	1144	1144	1144
Base Area	168	168	168
Finished Open Porch	60	0	18
Base Area	60	60	60
Finished Open Porch	13	0	4
Unfin Open Porch	18	0	4
Unfin Open Porch	91	0	18
Finished upper story 1	20	20	19
Base Area	55	55	55
Finished Open Porch	188	0	56
<b>Total</b>	<b>5921</b>	<b>2751</b>	<b>3299</b>

Exterior Wall	4	4 Single Siding
Roofing Structure	3	3 Gable or Hip
Roofing Cover	12	12 Modular Metal
Interior Wall	3	3 Plastered
Interior Wall	5	5 Drywall
Int Flooring	9	9 Pine / Soft Woods
Int Flooring	11	11 Ceramic Clay Tile
Heating Fuel	4	4 Electric
Heating Type	4	4 Forced-Ducted
Air Conditioning	3	3 Central



Building 2

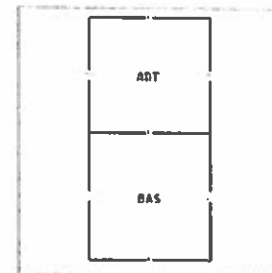
<b>Element</b>	<b>Code</b>	
Stories	2.000	
Bedrooms	3.000	
Baths	2.000	
Rooms / Units	1.000	

Building 2 Site Address  
1344 MARKET ST  
Jacksonville FL 32206-

<b>Building Type</b>	0101 - SFR 1 STORY
<b>Year Built</b>	1953
<b>Building Value</b>	\$20,460.00

Type	Gross Area	Heated Area	Effective Area
Addition	342	342	308
Base Area	380	380	380
<b>Total</b>	<b>722</b>	<b>722</b>	<b>688</b>

<b>Element</b>	<b>Code</b>	<b>Detail</b>
Exterior Wall	7	7 Cem Fib Shing
Exterior Wall	15	15 Concrete Blk
Roofing Structure	3	3 Gable or Hip
Roofing Cover	3	3 Asph/Comp Shingle
Interior Wall	5	5 Drywall
Int Flooring	2	2 Min / Plywood
Int Flooring	1	1 None
Heating Fuel	4	4 Electric
Heating Type	3	3 Forced-Not Ducted
Air Conditioning	2	2 Wall Unit



<b>Element</b>	<b>Code</b>	
Stories	1.000	
Bedrooms	2.000	
Baths	1.000	
Rooms / Units	1.000	

Traversing Data

ADT:0,18:=E19 N18 W19 S18 \$ BAS:0,18:=S20 E19 N20 W19 \$ .

2013 Notice of Proposed Property Taxes (Truth in Millage Notice)

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rollled-back
-----------------	----------------	------------	---------------	-----------	----------	--------------



Gen Govt Ex B&B	\$130,318.00	\$0.00	\$130,318.00	\$1,786.55	\$1,503.26	\$1,330.64
Urban Service Dist1	\$130,318.00	\$0.00	\$130,318.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$130,318.00	\$0.00	\$130,318.00	\$952.80	\$669.83	\$706.55
By Local Board	\$130,318.00	\$0.00	\$130,318.00	\$400.20	\$292.95	\$296.77
FL Inland Navigation Dist.	\$130,318.00	\$0.00	\$130,318.00	\$6.14	\$4.50	\$4.33
Water Mgmt Dist. SJRWMD	\$130,318.00	\$0.00	\$130,318.00	\$58.98	\$42.78	\$42.78
Gen Gov Voted	\$130,318.00	\$0.00	\$130,318.00	\$0.00	\$0.00	\$0.00
School Board Voted	\$130,318.00	\$0.00	\$130,318.00	\$0.00	\$0.00	\$0.00
Urb Ser Dist1 Voted	\$130,318.00	\$0.00	\$130,318.00	\$0.00	\$0.00	\$0.00
			Totals	\$3,204.67	\$2,513.32	\$2,381.07
	<b>Just Value</b>	<b>Assessed Value</b>	<b>Exemptions</b>	<b>Taxable Value</b>		
<b>Last Year</b>	\$178,027.00	\$178,027.00	\$0.00	\$178,027.00		
<b>Current Year</b>	\$130,318.00	\$130,318.00	\$0.00	\$130,318.00		

**Property Record Card (PRC)**

The Property Appraiser's Office (PAO) provides historical property record cards (PRCs) online for 1995-2005. The PAO no longer maintains a certified PRC file due to changes in appraisal software; therefore, there are no PRCs available online from 2006 forward. You may print this page which provides the current property record. (Sections not needed can be minimized.) To print the past-year cards below, set your browser's Page Set Up for printing to Landscape.  
[2005](#) | [2004](#) | [2003](#) | [2002](#) | [2001](#) | [2000](#) | [1999](#) | [1998](#) | [1997](#) | [1996](#) | [1995](#)

**More Information**

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)

**PRE-CONSTRUCTION APPLICATION REVIEW**

**For Local Historic Preservation Office or Division Use Only**

Property Identification Number: 070928-0000

Property Address: 152 East 4<sup>th</sup> Street

The  Local Historic Preservation Office/ Division has reviewed **Part 1 (Preconstruction Application)** of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Certifies that the above referenced property qualifies as a historic property consistent with the provisions of §196.1997(11), F. S.
- Certifies that the above referenced property does not qualify as a historic property consistent with the provisions of §196.1997(11) F. S.
- Certified that the above referenced property qualifies for the special exemption provided under §196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
- Certified that the above referenced property does not qualify for the special exemption provided under §196.1998, F. S.
- Determines that improvements to the above referenced property are consistent with the *Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, and the *criteria set forth in Chapter 1A-38, F.A.C.*
- Determines that improvements to the above referenced property are not consistent with the *Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, and the *criteria set forth in Chapter 1A-38, F.A.C.*

All work not consistent with the referenced standards and guidelines and criteria, is identified in the Review Comments.

Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced standards, guidelines and criteria are provided in the Review Comments.

Review Comments:

INITIAL INSPECTION 12/17/13

Additional Review Comments attached?  Yes  No



Signature

Printed Name: LISA SHEPPARD

Title: SENIOR HISTORIC PRESERVATION PLANNER

Date: 4/1/14

**HISTORIC PRESERVATION PROPERTY TAX EXEMPTION APPLICATION  
PART 2--REQUEST FOR REVIEW OF COMPLETED WORK**

**INSTRUCTIONS:** Upon completion of the restoration, rehabilitation or renovation, return this form with photographs of the completed work (both exterior and interior views for buildings) to the Division of Historical Resources or the Local Historic Preservation Office, as applicable. These photographs must provide a comprehensive description of the completed work. They should be the same views as the *before* photographs included in the Pre-construction Application. Type or print clearly in black ink. The final recommendation of the Division of Historical Resources or the Local Historic Preservation Office, as applicable with respect to the requested historic preservation property tax exemption is made on the basis of the descriptions in this Request for Review of Completed Work.

**1. Property Identification and Location:**

Property Identification Number: 070928-0000

Address of property: 152 E 4<sup>th</sup> st. Jacksonville FL 32206

City: Jacksonville, County: duval Zip Code: 32206

**2. Data on restoration, rehabilitation or renovation project:**

Project starting date: March 06, 2014 Project completion date: June 04, 2015

Estimate cost of entire project: \$262,997.88

Estimated costs attributed solely to work on historic buildings or archaeological sites: \$250,067.88

- 3. Owner attestation:** I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work described above and in the Preconstruction Application for this project which received approval on February 03, 2014. I hereby attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, and is consistent with the work described in the Preconstruction Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this application, I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this application. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this application is subject to criminal sanctions, pursuant to the *Laws of Florida*.

Name: Hailing Zhong Signature:  Date: Oct 28, 2015

*Complete the following, if signing for an organization or multiple owners (see additional owners below):*

Title: \_\_\_\_\_ Organization: \_\_\_\_\_

Social Security or Taxpayer Identification Number: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_, State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Daytime Telephone Number: (\_\_\_\_) \_\_\_\_\_

**List Additional Owners:**

Name: \_\_\_\_\_

Street: \_\_\_\_\_

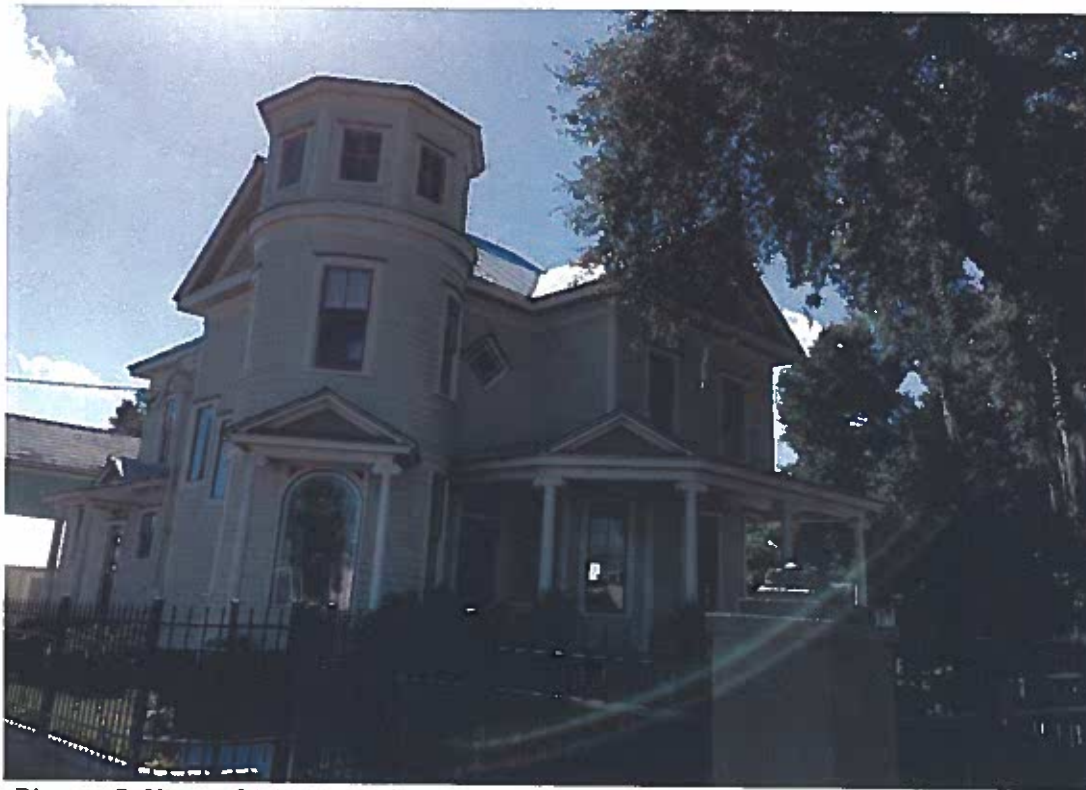
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Social Security or Taxpayer Identification Number: \_\_\_\_\_

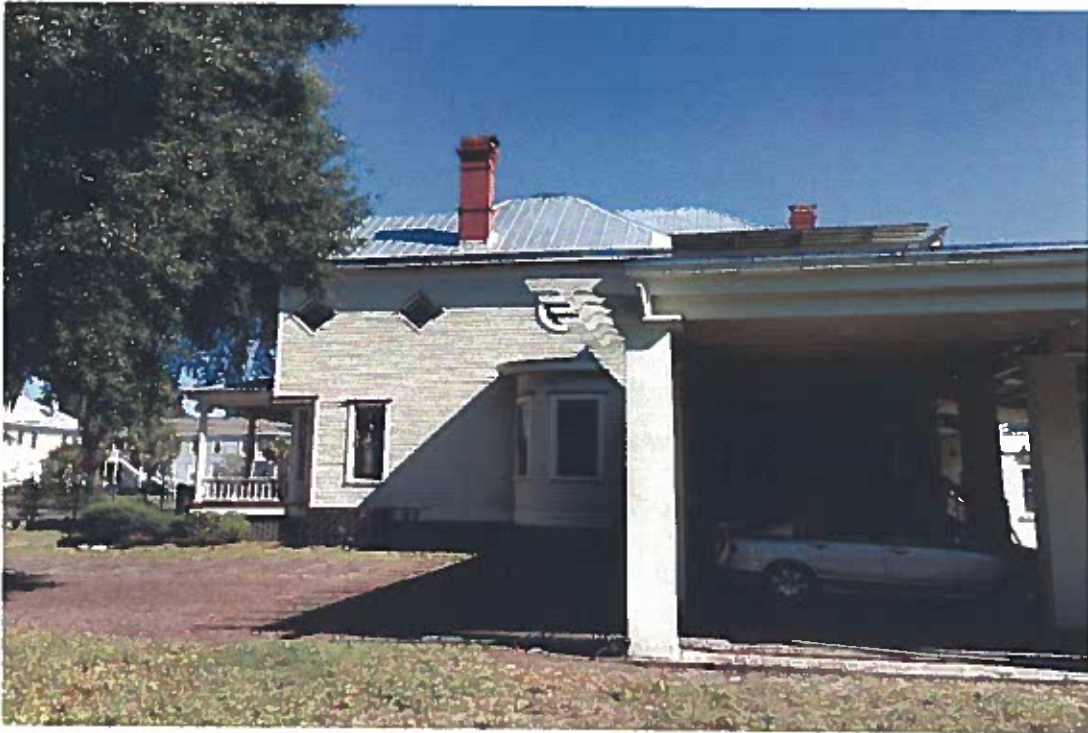
*If there are additional owners, provide the indicated information for each on a separate sheet of paper.*



Picture 1: Property featured on Page 183 of "Jacksonville's Architectural Heritage", published by University Press of Florida.



Picture 2: View of 152 East 4<sup>th</sup> Street from corner of Market and 4<sup>th</sup> Street (October 27, 2015)



Picture 3: View of east side of 152 East 4<sup>th</sup> Street (October 27, 2015)



Picture 4: West side of 152 East 4<sup>th</sup> Street (October 27, 2015)



Picture 5: Kitchen Door (east side, October 27, 2015)



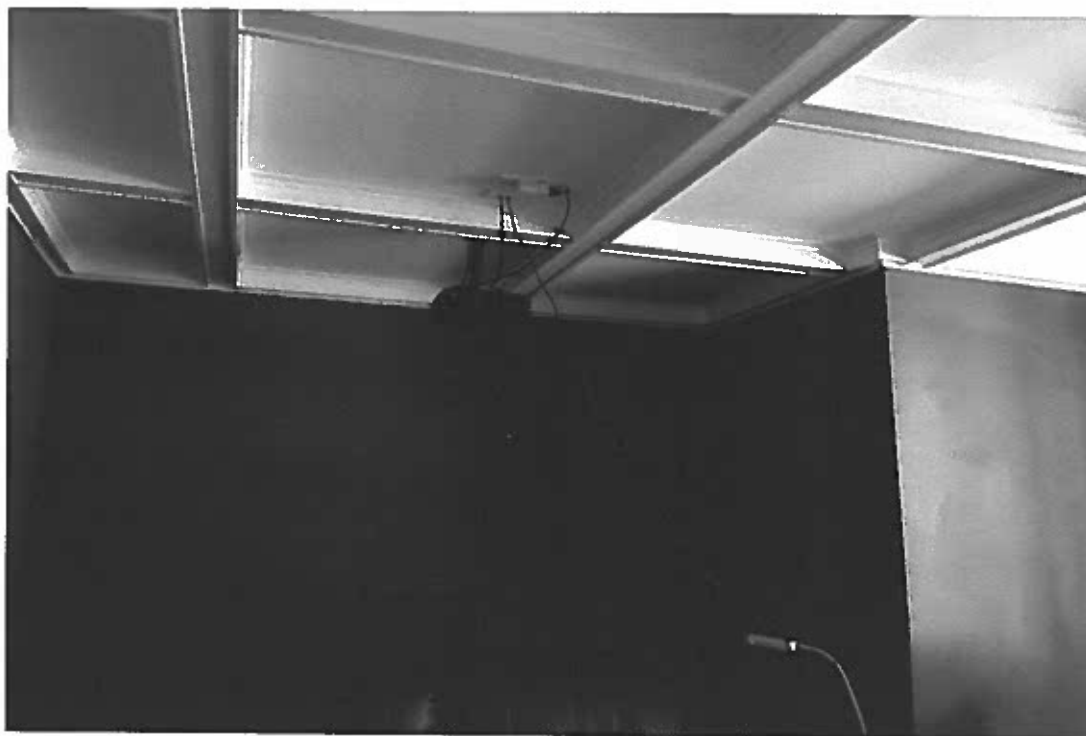
Picture 6: Inside Kitchen facing east. Door to outside is visible at the left side.



Picture 7: Inside Kitchen facing south.



Picture 8: kitchen facing west



Picture 9: South-West room facing south



Picture 10: South-West room ceiling





Picture 11: First floor bathroom



Photo 12: Fireplace West Middle Room



Photo 13: Second Floor East Bathroom



Photo 14: Second Floor East Bathroom facing north



Photo 15: Shower attached to 2<sup>nd</sup> Floor South-East Bedroom



Picture 16: Upstairs hallway facing the angled wall connecting the east bathroom and the south east bedroom.

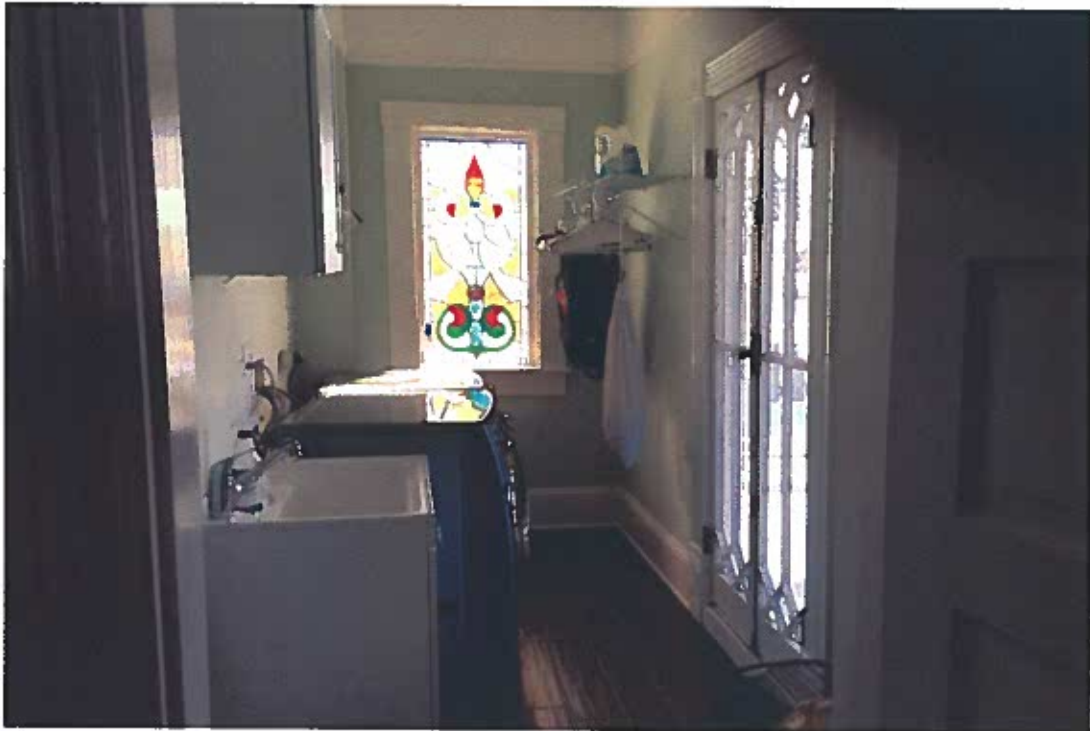


Photo 17: 2<sup>nd</sup> Floor was West bathroom, now laundry room



Photo 18: Opening connecting the two 2<sup>nd</sup> floor rooms at the north side of the house.



Photo 19: Closets at the southern wall of the 2<sup>nd</sup> floor north-west room.



Photo 20: 2<sup>nd</sup> Floor middle west room. Wall leading to north room.



Photo 21: 2<sup>nd</sup> Floor was South-west bedroom, now bathroom, view from outside hallway facing south-west



Photo 22: 2<sup>nd</sup> Floor was South West bedroom now bathroom. View by Facing east.



Photo 23: 2<sup>nd</sup> Floor was South West bedroom now bathroom, view by facing south



Photo 24: 2<sup>nd</sup> Floor was South West Bedroom now bathroom, view by facing west.



Photo 25: was painted shut window west of entrance, now restored and fully operational (1<sup>st</sup> floor)



Photo 26: 1<sup>st</sup> Floor porch center window. Window faces north.





Photo 27: 1<sup>st</sup> floor window at western end of porch. Window was painted shut now restored and operational.



Photo 28: 1<sup>st</sup> Floor window facing west. Window restored and operational



**Photo 29: Curved window on turret attached to west side of house. Window faces north-west. Window is not designed to open.**



**Photo 30: Curved window on west-side turret facing west. Window is paint shut not designed to open.**



Photo 31: Curved Window on west-side turret facing south. Window is paint shut / not designed to operate.



Photo 32: Window to the left of entrance door, facing approx.. north. Window panes appear modern. Was paint shut, now operational



Photo 33: Stained glass window at Northeast corner of first floor. The window is protected by Plexiglas and not designed to be opened.



Photo 34: 1<sup>st</sup> floor window facing east. This window is part of the turret at the north-east corner.



**Photo 35: Stained glass windows at the east side of the house. These windows are placed at the landing of the stair case between first and second floor. The windows do not open.**



**Photo 36: Bathroom window to the right of the kitchen door. The window has been replaced, but some original trim remains.**



Photo 37: Kitchen Window facing east.



Photo 38: 1<sup>st</sup> floor kitchen window facing south.



Photo 39: 2<sup>nd</sup> floor southwest bedroom window facing south. The window has been paint shut now operational.

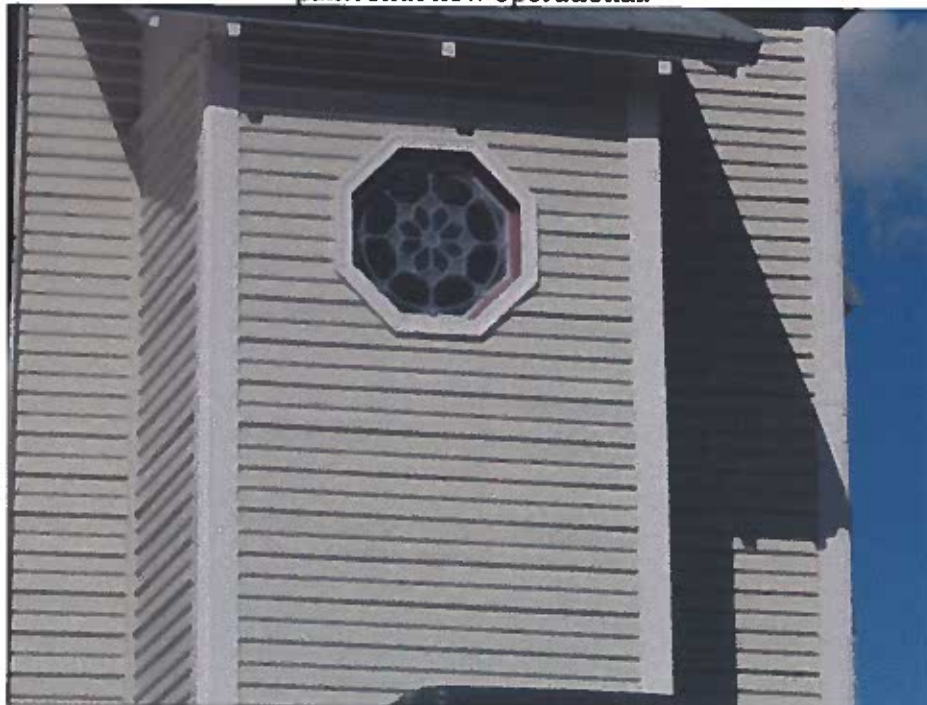


Photo 40: Shower/closet attached to south side of 2<sup>nd</sup> floor. The windows are fixed and can not be opened.

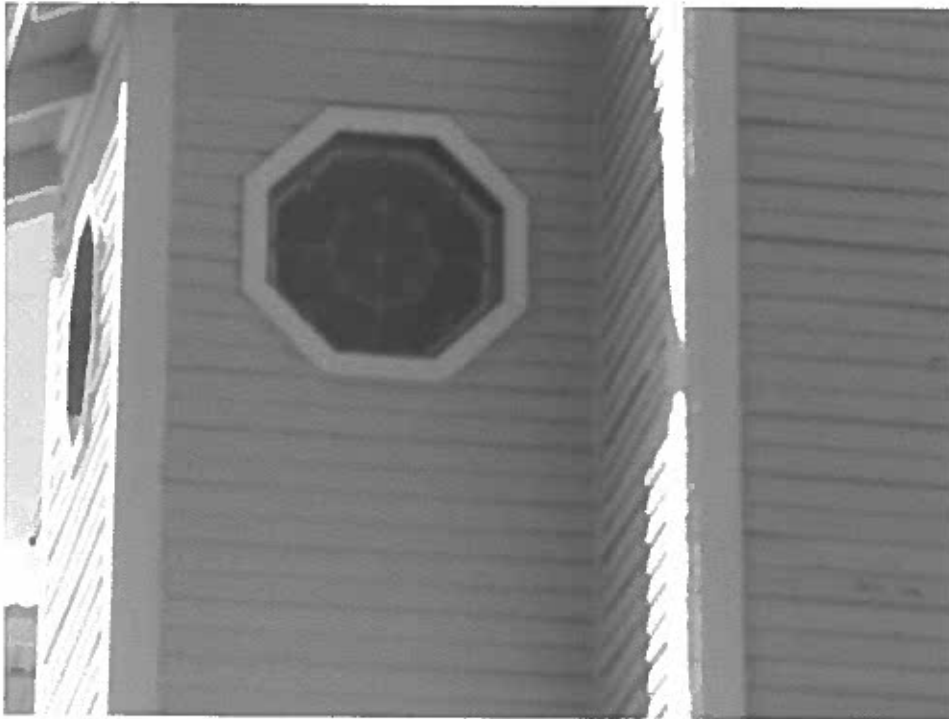


Photo 41: Shower/closet attached the south side of 2<sup>nd</sup> floor. View from the east.  
The window is fixed and can not be opened.

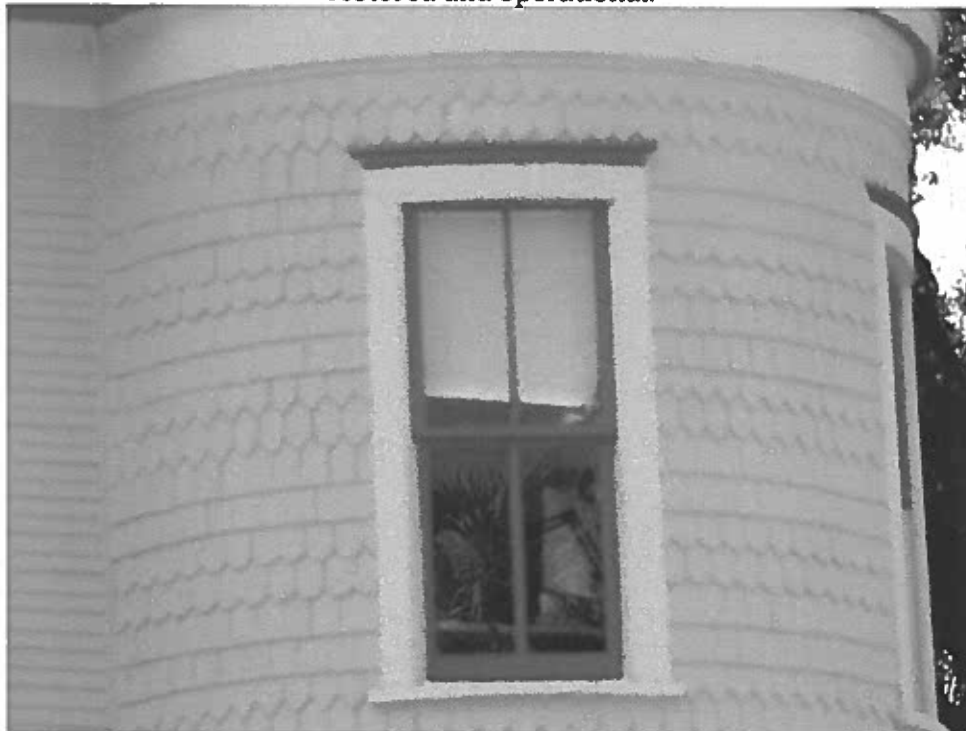


Photo 42: East facing window to the 2<sup>nd</sup> floor southeast bedroom.





**Photo 43: Window to the 2<sup>nd</sup> floor east bathroom. Glass was broken, window now restored and operational.**



**Photo 44: Window of the 2<sup>nd</sup> floor turret facing east. Panes were broken and window was paint shut. Now restored and operational.**



**Photo 45: Window of 2<sup>nd</sup> floor turret facing northeast. Panes were broken and window was pain shut. Now restored and operational.**



**Photo 46: Window on 2<sup>nd</sup> floor of turret facing northwest. Window pane was broken and window was paint shut. Restored and operational.**



Photo 47: 2<sup>nd</sup> floor diamond shape window facing north right next to the turret above main entrance. The window is not designed to operate.



Photo 48: 2<sup>nd</sup> floor northwest room facing south. This window was partially operational but some hardware was missing. Now restored and operational (to the left of the window shown in Photo 49).



Photo 49: 2<sup>nd</sup> floor window to the northwest room facing north (to the right of the window shown in Photo 48). The window was partially operational but missing hardware. Now restored and operational.



Photo 50: 2<sup>nd</sup> floor diamond shape window to the northwest room. This floor is not designed to be opened.

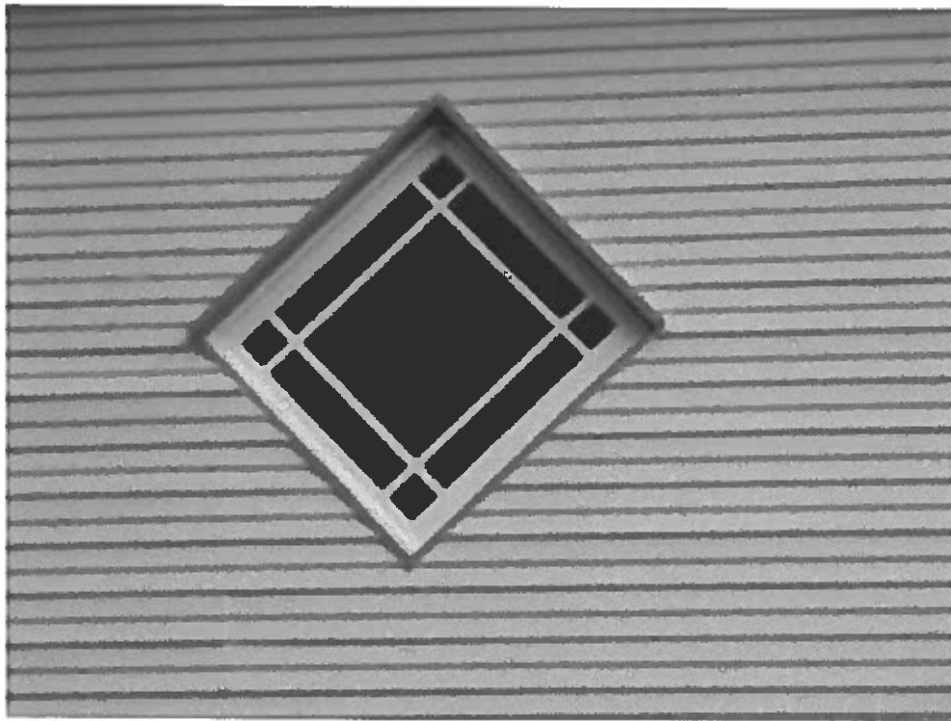


Photo 51: 2<sup>nd</sup> floor diamond shape window to the north west room facing west. The window is not designed to be opened.

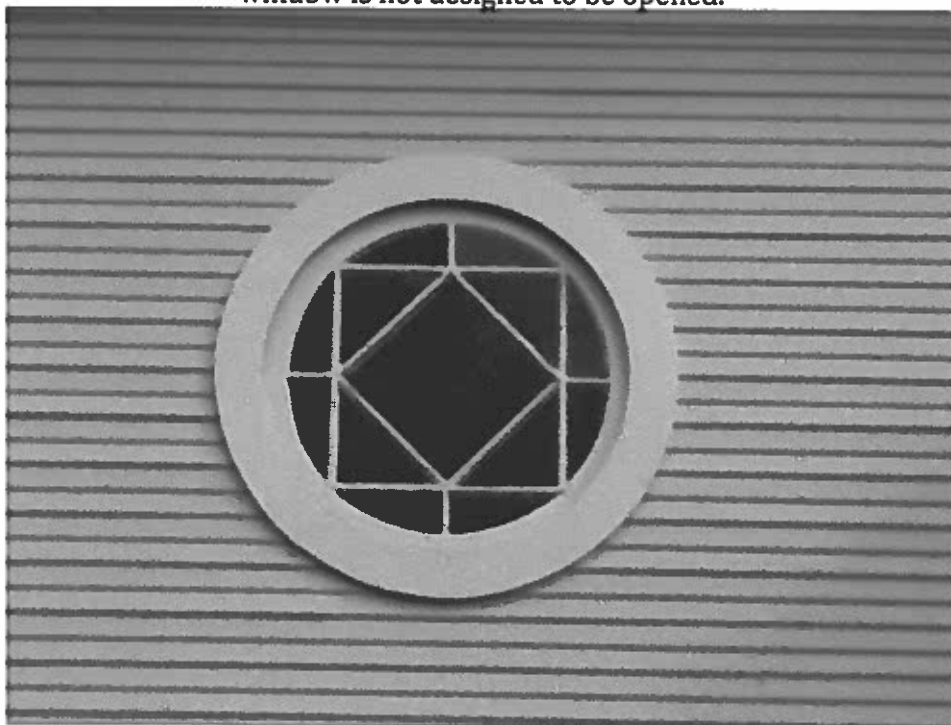


Photo 52: 2<sup>nd</sup> floor round window to the middle room. This window is not designed to be opened.



**Photo 53: Windows of the turret facing the corner of Market Street and 4<sup>th</sup> Street (northeast corner of house). These window open to the attic and are not operational.**



**Photo 54: Backdoor at the south side of the house. The door is currently a functional off the shelf door. It is repainted.**

**REVIEW OF COMPLETED WORK**

For Local Historic Preservation Office or Division Use Only

Property Identification Number: 070928-0000

Property Address: 152 East 4<sup>th</sup> Street

The  Local Historic Preservation Office/ Division has reviewed Part2 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Determines that the completed improvements to the above referenced property are consistent with the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and the *criteria set forth in Chapter 1A-38, F.A.C.*, and, therefore, recommends approval of the requested historic preservation tax exemption.
- Determines that the completed improvements to the above referenced property are not consistent with the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, and the *criteria set forth in Chapter 1A-38, F.A.C.*, and, therefore, recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below:

Review Comments:

COA-13-877 (REROOF)

COA-14-254 (EXTERIOR REPAIRS/REPAINT)

COA-15-349(FENCING REPAIRS)

COA-15-356.(DOORS)

INSPECTED 6/6/15

Additional Review Comments attached?  Yes  No

  
\_\_\_\_\_  
Signature

Printed Name: LISA SHEPPARD

Title: SENIOR HISTORIC PRESERVATION PLANNER

Date: 10-30-15

---

The City of Jacksonville hereby issues a Certificate of Completion at the below listed address:

**FOR PROPERTY AT:**

152 4TH Street East  
JACKSONVILLE, FL 32206

**CONTRACTOR:**

Glory Homes, Inc  
7027 Alpine Street  
Jacksonville, FL 32208

---

RE# 070928 0000

Permit #: B-14-613909.000

**OWNER:**

Residential Single Family Alterations & Repairs

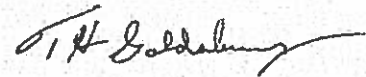
Hailing Zhong  
152 E 4TH ST

JACKSONVILLE, FL 32206-4524

This is to certify that the Building Inspection Division has inspected and approved the construction of the work as identified by the permit above.

6/4/2015

          
Certificate Issued Date



---

Tom Goldsburly, C.B.O.  
Building Official



# Glory Homes Inc.

904 838-0057  
gloryhomes2000@gmail.com

Office:  
7027 Alpine Street  
Jacksonville FL 32208

Shop:  
2016 Walnut  
Jacksonville, FL, 32206

October 28, 2015

RE: Cost to renovate 152 East 4<sup>th</sup> St

Client: Hailing Zhong

To summarize, the total cost of the restoration work done by Glory Homes on 152 East 4<sup>th</sup> St was \$ 250,067.88. This includes all labor provided by Glory Homes, all sub-contracts through Glory Homes and all materials provided by Glory Homes. In addition, the knee wall and carport work was another \$ 4,800.00.



Joseph J Markusic  
Vice President  
Glory Homes, Inc.  
CBC059741

Glory Homes, Inc.  
 CBC059741  
 7027 Alpine St  
 Jacksonville Florida 32208  
 Shop: 2018 Walnut St.

Admin

Administration

Date	Name	Task	Total Time	Our Rate	Our Cost	Total
	Admin	Pull city permit	1.5	\$46.00	\$69.00	\$69.00
	COJ	Permit estimated costs	1	\$1,078.50	\$1,078.50	\$1,147.50
	Admin	Meet inspectors		\$46.00	\$0.00	\$1,147.50
	COJ	NOC	1	\$11.00	\$11.00	\$1,158.50
	Admin	Pull COA	0.5	\$46.00	\$23.00	\$1,181.50
	Professional	Drawings as needed	1	\$100.00	\$100.00	\$1,281.50
					\$0.00	\$1,281.50
	Admin	Allowance for supervision		10.00%	\$16,634.11	\$17,915.61
	Admin	Project clean up and safety		0.00%	\$0.00	\$17,915.61
		Note: Above included in regular labor			\$0.00	\$17,915.61
		Final Total			\$0.00	\$17,915.61

Hailing Zhong  
 Johannes Ulirich  
 Project:  
 152 East 4th St  
 Historic Springfield, FL

Glory Homes, Inc.  
 CBC059741  
 7027 Alpine St  
 Jacksonville Florida 32208  
 Shop: 2018 Walnut St.

Time

Hailing Zhong  
 Johannes Ulirich  
 Project:  
 152 East 4th St  
 Historic Springfield, FL

ON FILE  
 COMPOSITE EXHIBIT 1  
 PAGE 75 OF 85

05/21/2015	Cody Lovelace	Fence, demo lattice, soffit vents	6.25	\$20.50	\$128.13	\$115,953.83
05/21/2015	Jackie Minor	clean bricks	4	\$15.50	\$62.00	\$116,015.83
05/21/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$116,155.83
05/21/2015	Dale Baker	Painting	8	\$19.50	\$156.00	\$116,311.83
05/22/2015	Jackie Minor	Seal Porch	3	\$16.50	\$49.50	\$116,361.33
05/22/2015	Donald Nacoste	Laying Paper	3	\$16.50	\$49.50	\$116,410.83
05/28/2015	Donald Nacoste	Cleaning outside	5.75	\$16.50	\$94.88	\$116,505.70
05/27/2015	Donald Nacoste	Remove Trash & clean inside	5.75	\$16.50	\$94.88	\$116,600.58
05/22/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$116,740.58
05/25/2015	Doug Pruitt	Painting	3	\$17.50	\$52.50	\$116,793.08
05/28/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$116,933.08
05/27/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$117,073.08
05/28/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$117,213.08
05/22/2015	Dale Baker	Paint	6.5	\$19.50	\$126.75	\$117,339.83
05/19/2015	KB	Stucco perimeter wall	8	\$21.50	\$172.00	\$117,511.83
05/20/2015	KB	Stucco perimeter wall	8	\$21.50	\$172.00	\$117,683.83
05/21/2015	KB	Stucco perimeter wall	8	\$21.50	\$172.00	\$117,855.83
06/04/2015	Cody Lovelace	Punch List	8	\$20.50	\$164.00	\$118,019.83
05/30/2015	Donald Nacoste	Yard work	8	\$16.50	\$132.00	\$118,151.83
05/31/2015	Donald Nacoste	Yard work	5.75	\$16.50	\$94.88	\$118,246.70
06/02/2015	Donald Nacoste	Yard work, cleaning site	7.5	\$16.50	\$123.75	\$118,370.45
06/03/2015	Donald Nacoste	Yard work, cleaning inside & outside	8	\$16.50	\$132.00	\$118,502.45
06/04/2015	Donald Nacoste	Yard work, cleaning inside & outside	8	\$16.50	\$132.00	\$118,634.45
05/29/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$118,774.45
06/01/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$118,914.45
06/02/2015	Doug Pruitt	Painting	8	\$17.50	\$140.00	\$119,054.45
06/03/2015	Doug Pruitt	Painting	6	\$17.50	\$105.00	\$119,159.45
06/04/2015	Doug Pruitt	Painting	5	\$17.50	\$87.50	\$119,246.95
05/29/2015	Mac	Electrical finish work	5	\$18.50	\$92.50	\$119,339.45
06/09/2015	Kevin Adams	Poly Floors	7.5	\$19.50	\$146.25	\$119,485.70

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Time

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06/10/2015	Kevin Adams	Poly Floors	8	\$19.50	\$156.00	\$119,641.70
11/18/2014	Phil N	Build custom capitals	5	\$24.00	\$120.00	\$119,761.70
11/20/2014	Phil N	Build custom capitals	4.25	\$24.00	\$102.00	\$119,863.70
11/21/2014	Phil N	Build custom capitals	5.5	\$24.00	\$132.00	\$119,995.70
11/24/2014	Phil N	Build custom capitals	6	\$24.00	\$144.00	\$120,139.70
11/25/2014	Phil N	Build custom capitals	6	\$24.00	\$144.00	\$120,283.70
11/26/2014	Phil N	Build custom capitals	6	\$24.00	\$144.00	\$120,427.70
12/01/2014	Phil N	Build custom capitals	6	\$24.00	\$144.00	\$120,571.70
12/02/2014	Phil N	Build custom capitals	4.25	\$24.00	\$102.00	\$120,673.70
12/17/2014	Phil N	Build Mantel	1	\$24.00	\$24.00	\$120,697.70
01/14/2015	Phil N	Build Mantel	4.5	\$24.00	\$108.00	\$120,805.70
01/16/2015	Phil N	Build Mantel	5.75	\$24.00	\$138.00	\$120,943.70
01/20/2015	Phil N	Build Mantel	5	\$24.00	\$120.00	\$121,063.70
01/22/2015	Phil N	Build Mantel	5.25	\$24.00	\$126.00	\$121,189.70
01/23/2015	Phil N	Build Mantel	2	\$24.00	\$48.00	\$121,237.70
01/26/2015	Phil N	Build Mantel	5.25	\$24.00	\$126.00	\$121,363.70
01/27/2015	Phil N	Build Mantel	5	\$24.00	\$120.00	\$121,483.70
01/28/2015	Phil N	Build Mantel	5	\$24.00	\$120.00	\$121,603.70
01/30/2015	Phil N	Build Mantel	4	\$24.00	\$96.00	\$121,699.70
02/03/2015	Phil N	Build Mantel	4.5	\$24.00	\$108.00	\$121,807.70
02/05/2015	Phil N	Build Mantel	4	\$24.00	\$96.00	\$121,903.70
02/09/2015	Phil N	Build Mantel	3.75	\$24.00	\$90.00	\$121,993.70
02/10/2015	Phil N	Build Mantel	4	\$24.00	\$96.00	\$122,089.70
02/11/2015	Phil N	Build Mantel	0.5	\$24.00	\$12.00	\$122,101.70
02/12/2015	Phil N	Build Mantel	3	\$24.00	\$72.00	\$122,173.70
06/02/2015	Joe M	Labor accumulated of 3 weeks -	48	\$24.00	\$1,152.00	\$123,325.70
03/25/2014	Special Credit	Account for window time issues	1	-\$5,245.00	-\$5,245.00	\$118,080.70

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		3743							\$118,080.70
			474.65						\$118,080.70
									\$118,080.70
									2321
									\$115,759.70

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Material

05/09/2015	Interior	Bags	PB	\$23.52	\$27,969.99
05/11/2015	Interior	Finish Electrical	PB	\$19.27	\$27,989.26
05/12/2015	Interior	Finish Electrical	Home Depot	\$171.90	\$28,161.16
05/13/2015	Interior	Iceemaker kit, etc	PB	\$59.28	\$28,220.44
05/20/2015	Interior	Paint & Supplies	Brinton's	\$51.96	\$28,272.40
05/07/2015	Interior	1x4x16s	PB	\$22.17	\$28,294.57
05/15/2015	Interior	Paint	Brinton's	\$26.70	\$28,321.27
05/15/2015	Interior	Door Vinyl	PB	\$3.95	\$28,325.22
05/15/2015	Interior	dowel, roller catch, etc	PB	\$41.36	\$28,366.58
05/18/2015	Interior	Weather strip	PB	\$16.02	\$28,382.60
05/19/2015	Interior	Paint & Supplies	Brinton's	\$51.07	\$28,433.67
05/18/2015	Interior	Trim	CLC	\$69.66	\$28,503.33
05/18/2015	Interior	Paint & Supplies	Brinton's	\$217.66	\$28,720.99
05/18/2015	Exterior	Sandpaper & mortar	PB	\$34.60	\$28,755.59
05/18/2015	Exterior	Supplies	PB	\$9.94	\$28,765.53
05/19/2015	Exterior	Cleaning supplies & sandpaper	PB	\$33.07	\$28,798.60
05/20/2015	Exterior	16 x 24 Glass	PB	\$6.41	\$28,805.01
05/20/2015	Exterior	16 x 20 Glass	PB	\$4.59	\$28,809.60
05/20/2015	Exterior	4" Brush	PB	\$3.52	\$28,813.12
05/21/2015	Exterior	Paint, supplies, roof flashing	PB	\$23.18	\$28,836.30
05/21/2015	Interior	Dry Erase Paint & Supplies	Brinton's	\$383.42	\$29,219.72
05/19/2015	Interior	1x4 Trim	CLC	\$53.40	\$29,273.12
05/20/2015	Interior	Supplies	Home Depot	\$28.89	\$29,302.01
05/20/2015	Interior	Light fixture, gas line, etc	Home Depot	\$98.90	\$29,400.91
05/13/2015	Interior	Spakie & Closet Parts	Lowes	\$68.73	\$29,459.64
05/26/2015	Interior	Light Bulbs	Home Depot	\$15.95	\$29,475.59
05/27/2015	Interior	Cleaning supplies	PB	\$12.38	\$29,487.97
05/27/2015	Interior	Paint	Brinton's	\$114.28	\$29,602.25
06/03/2015	Exterior	Plumbing parts	Winnselson	\$18.44	\$29,620.69
					\$29,620.69

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06/02/2015	Interior	Goof-off & Mirror Clip Kit	PB		\$5.65	\$29,626.34
06/02/2015	Interior	Misc	PB		\$3.18	\$29,629.52
06/01/2015	Exterior	Paint	Brinton's		\$147.66	\$29,777.18
06/01/2015	Interior	Glass for Kit Cabinets	PB		\$158.25	\$29,935.43
06/04/2015	Interior	Plate	PB		\$10.69	\$29,946.12
06/05/2015	Interior	Closest Parts	Home Depot		\$40.31	\$29,986.43
06/05/2015	Interior	Lock set	PB		\$12.18	\$29,998.61
06/08/2015	Exterior	Paint Thinner	Brinton's		\$10.16	\$30,008.77
06/04/2015	Interior	Glass, Light bulbs, caulk, etc	PB		\$79.00	\$30,087.77
06/09/2015	Interior	Poly	Home Depot		\$66.32	\$30,154.09
						\$30,154.09
						\$30,154.09
						\$30,154.09
						\$30,154.09
						\$30,154.09
						\$30,154.09
06/10/2015	Credit	misc material not used	Various		-\$176.00	\$29,978.09
						\$29,978.09
11/25/2014	Credit	bucket DW compound	GHI		-\$18.14	\$29,959.95
11/25/2014	Credit	17 pcs backerboard	GHI		-\$271.95	\$29,688.00
11/26/2014	Credit	Dura Rock	PB		-\$90.63	\$29,597.37

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Subs

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Sub Contracts

Date	By	Task	Total Project	Draw %	Draw Amt	Total
04/21/14	Joe Vanhoy	Complete rewire	\$16,000.00	21.25%	\$3,400.00	\$3,400.00
05/01/14		2 <sup>nd</sup> Safety draw		6.25%	\$1,000.00	\$4,400.00
08/11/14		Basic Draw		12.50%	\$2,000.00	\$6,400.00
		Basic Draw		31.00%	\$4,960.00	\$11,360.00
		Under ground		7.00%	\$1,120.00	\$12,480.00
		Basic Draw		12.50%	\$2,000.00	\$14,480.00
		Basic Draw		7.50%	\$1,200.00	\$15,680.00
		Final Draw		2.00%	\$320.00	\$16,000.00
		To Date		100.00%		\$16,000.00
05/01/14	Cannon Plumbing	Complete re-plumbing	\$12,000.00	33.00%	\$3,960.00	\$3,960.00
08/11/14		Top Out		33.00%	\$3,960.00	\$7,920.00
		Trim out		34.00%	\$4,080.00	\$12,000.00
		To Date		100.00%		\$12,000.00
11/13/14	Cannon Plumbing	Floor drain for Mba & Water line for coffee maker	\$490.00	100.00%	\$490.00	\$490.00
		Rework drains MBA dbl sink	\$250.00	100.00%	\$250.00	\$250.00
		Provide 9.5 Rheem tankless	\$1,385.00	100.00%	\$1,385.00	\$1,385.00
05/04/15	Cannon Plumbing	Total all invoices				\$14,125.00
05/01/14	Classic Services	Complete Gas repipe	\$2,675.00	80.00%	\$2,140.00	\$2,140.00
				20.00%	\$535.00	\$2,675.00
				100.00%		\$2,675.00
05/01/14	Jax HVAC	New HVAC	\$10,000.00	34%	\$3,400.00	\$3,400.00



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Subs

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				40%	\$4,000.00	\$7,400.00
				20%	\$2,000.00	\$9,400.00
				6%	\$600.00	\$10,000.00
				100%	\$0.00	
02/19/15	JAX Glass	2 shower doors glass shelves for shower	\$2,247.00	100%	\$2,247.00	\$2,247.00
05/27/15	JAX Glass	Total all invoices				\$2,910.40
05/08/15	Tim Moore, Brick Mason	Demo & rebuild 4 columns Pour walkway	\$2,275.00 \$275.00	100% 100%	\$2,275.00 \$275.00	\$2,275.00 \$2,550.00
		Final Total			\$0.00	\$48,260.40

Services

Date	By	Task	Unit	Rate	Cost	Total
06/24/14	Shapells	Dumpster	1	\$466.00	\$466.00	\$466.00
08/20/14	Shapells	Dumpster	0.25	\$332.20	\$83.05	\$549.05
10/31/14	Shapells	Dumpster	0.25	\$377.40	\$94.35	\$643.40
11/10/14	Shapells	Dumpster	0.5	\$244.60	\$122.30	\$765.70
03/05/15	Shapells	Dumpster	0.25	\$321.40	\$80.35	\$846.05
03/26/15	Team Recovery	sid cage, package cage	1	\$730.00	\$730.00	\$1,576.05
05/07/15	Home Depot	Boom Lift rental	1	\$850.00	\$850.00	\$2,426.05
					\$0.00	\$2,426.05

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Invoice

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Running Total of Project

Charges \$17,915.61 From Admin Sheet  
 Add-on (Cost plus 0%) \$0.00  
 Totals \$17,915.61

Labor Charges \$118,080.70 From Time Sheet  
 Special Labor Credits -\$1,896.00  
 After Credits \$116,184.70  
 Workers Comp Add-on (10%) \$11,618.47  
 Company Add-on (15%) \$17,427.71  
 Totals \$145,230.88

Material Charges \$29,597.37 From Material Sheet  
 Add-on (Cost plus 15%) \$4,439.61  
 Totals \$34,036.98

Sub-contractor charges \$48,260.40 From Sub Sheet  
 Add-on (Cost plus 15%) \$7,239.06  
 Sub-total \$55,499.46  
 Services \$2,426.05  
 Add-on (Cost plus 15%) \$363.91  
 Sub Totals \$2,789.96  
 Totals \$58,289.42

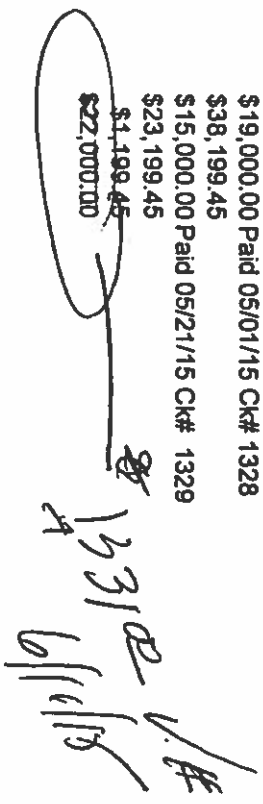
Total Project Costs to Date \$255,472.88  
 Less Amounts Paid \$1,500.00  
 Balance Due \$253,972.88  
 Start Up Draw \$13,500.00  
 Balances Due \$240,472.88

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Draw Two	\$12,466.81	Paid 07/23/14	Ck# 1288
Balance Due	\$228,006.07		
Draw Three	\$14,564.62	Paid 08/21/14	Ck# 1292
Balance Due	\$213,441.45		
Draw Four	\$18,842.00	Paid 09/15/14	Ck# 1167
Balance Due	\$194,599.45		
Draw Five	\$18,800.00	Paid 10/02/14	Ck# 1171
Balance Due	\$175,799.45		
Draw Six	\$18,000.00	Paid 11/06/14	Ck# 1187
Balance Due	\$157,799.45		
Draw Six	\$18,000.00	Paid 12/03/14	Ck# 1304
Balance Due	\$139,799.45		
Draw Seven	\$22,000.00	Paid 1/7/15	Ck# 1310
Balance Due	\$117,799.45		
Draw Eight	\$19,700.00	Paid 1/30/15	Ck# 1312
Balance Due	\$98,099.45		
Draw Nine	\$21,000.00	Paid 2/24/15	Ck# 1317
Balance Due	\$77,099.45		
Draw ten	\$19,900.00	Paid 03/27/15	Ck # 1320
Balance Due	\$57,199.45		
Draw 11	\$19,000.00	Paid 05/01/15	Ck# 1328
Balance Due	\$38,199.45		
Draw 12	\$15,000.00	Paid 05/21/15	Ck# 1329
Balance Due	\$23,199.45		
Final adjustments	\$1,199.45		
Final Draw	\$22,000.00		


  
 1331  
 6/1/15

THIS AGREEMENT embodies the entire understanding between Forever Fence (Infinity Fence, LLC, a Florida Corporation) (hereinafter referred to as the "Seller" and represented by its authorized sales agent whose name and signature bind this agreement on the Seller's behalf) and the purchaser, hereinafter referred to as the "Customer". If the Customer is a company, organization, association, subdivision, committee, or any other group, then the person signing this agreement acknowledges their authority to act as agent for such group. The Seller is obligated to communicate only with the Customer, or, in the case of a group, the agent who signed this agreement. If an agent of any group is relieved from his or her duties as agent after the commencement of this Agreement, the replacement agent assumes all of the prior agent's duties in this Agreement. The replacement agent shall not have the right to change any terms of this Agreement except with the specific written consent of the Seller utilizing a written signed and countersigned "change order".

**Responsibility for Payment:** The Customer is responsible for payment in accordance with the terms of this Agreement. Customer may not base payment to Seller on the condition of Customer being paid by a third party.

Name:	Hailing + Sohanna Zhang
Address:	4802 W 152 E 4th St
City, State, Zip:	32206
Email:	hailingze@yahoo.com
Phone (1) _____ (2) _____	

TOTAL AGREEMENT PRICE	\$ 8130
Deposit	\$ 4978
Balance	\$ 3252
Date Deposit Paid:	6-1-15

\*Customer understands that materials are not ordered until 100% of required deposit is paid. Please allow two (2) to three (3) weeks for receipt of standard orders and four (4) to six (6) weeks for receipt of custom orders. The time allowance is from the date Seller receives the deposit. Customer understands that these are estimated times and are under the control of the materials manufacturer and not Seller. Seller is not responsible for damages if materials are later than anticipated. \*Nowhere in this contract is there a guarantee of an installation completion date based on a time limit. There are too many factors that arise in construction; therefore, we do not guarantee it.

**ACCEPTANCE:** The prices, specifications, and terms listed above are satisfactory and hereby accepted by the Customer. Seller is authorized to do the work specified herein.

Customer: [Signature]      Seller: [Signature] Kaye Crocker  
 Date: 6/1/2015      Date: \_\_\_\_\_

**BUYER'S RIGHT TO CANCEL** - This is a home solicitation sale, and if you do not want the goods or services, you may cancel this agreement by providing written notice to the seller in person, by telegram, or by mail. This notice must indicate that you do not want the goods or services and must be delivered or postmarked before midnight of the third business day after you sign this agreement. If you cancel this agreement, the seller may not keep all or part of any cash down payment. In the case of a home solicitation sale, a refund must be mailed within 10 days after the sale has been cancelled.

Seller will also assist you with Architectural Review Boards / Home Owner's Associations. (After deposit, if plans are denied for any reason Seller will refund your deposit in full).

Both the Seller and the Customer acknowledge that no verbal representations have been relied upon in the formation hereof. The Seller shall provide the Customer with the products and services listed in Attachment 1. Any modifications of this Agreement including all attachments must be in the form of a written "change order" and must be signed by both the Seller and the Customer. The Seller and the Customer agree as follows:

**Customer Responsibilities:** The Customer Must:

- Obtain and submit to Seller all applicable subdivision and Association Covenants and Restrictions, ARC, ARB, permission for all tie ins needed, and generally all permits and approvals necessary for Seller to legally carry out the provisions of this Agreement. If the fence needs to be moved or removed due to ARC guidelines, the cost will be the responsibility of the customer.
- Provide access to water for mixing the concrete.
- Provide a fence line clear of all obstructions including trees, bushes, rocks, roots, concrete, wells, pool lines, vehicles, storage units, etc.
- Provide markings from all applicable public and private utilities including, but not limited to: cable, power, telephone, gas, sprinkler lines, conduit etc. without regard to source. SELLER IS NOT LIABLE FOR ANY DAMAGES TO OR FROM UNMARKED OR IMPROPERLY MARKED UTILITIES.
- Provide properly marked fence lines and property lines. SELLER IS NOT LIABLE FOR UNMARKED OR IMPROPERLY MARKED FENCE LINES AND PROPERTY LINES.

**Responsibility for Changes or Delays**

- If a change order is done, Customer is responsible for all additional material and/or labor charges resulting from such change.

# FOREVER FENCE

(904) 399-3660 ♦ [Manager@ForeverFence.US](mailto:Manager@ForeverFence.US)

## FENCE PLAN

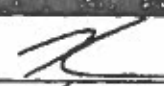
Name	Hailing ZHONG	Date		Other
Community		<input checked="" type="checkbox"/> Aluminum	<input type="checkbox"/> Vinyl	
Phone	710-1555-21	Height <input type="checkbox"/> 3' <input type="checkbox"/> 4' <input type="checkbox"/> 4 1/2' <input type="checkbox"/> 5' <input type="checkbox"/> 6' <input type="checkbox"/> 8'		
E-mail		Color <input checked="" type="checkbox"/> Black <input type="checkbox"/> White <input type="checkbox"/> Tan <input type="checkbox"/> Bronze <input type="checkbox"/> Other		
Address	152 E 17th St. 32206	Style: S...		
City, State ZIP Code		<input checked="" type="checkbox"/> HOA / ARB	<input type="checkbox"/> Tear Down / Removal	

Layout:	See Drawing	Legend:
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Notes:

Total Feet		Total Investment	8130
# of Gates		Deposit	4878

- ♦ Lifetime Warranty on MATERIALS
- ♦ Lifetime Warranty on INSTALLATION
- ♦ All posts set in Hand Mixed Concrete
- ♦ Expert Installation Techniques
- ♦ Owner involved in EVERY Job
- ♦ Dedicated Customer Care Department

Customer Signature		Forever Fence Signature	
Name		Name	Key Crocker
Date		Date	5-30-15

FOREVER FENCE - Fence Plan - Attachment 1